

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
**DECEMBER 12, 2023** IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of minutes for the November 14, 2023 Planning and Zoning Commission meeting.

(2) Approval of minutes for the November 28, 2023 Planning and Zoning Commission meeting.

(3) **SP2023-046 (HENRY LEE)**

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Stephen Pepper of SH Dev Klutts Rockwall, LLC for the approval of a Site Plan for Phase 1 of the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(IV) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(4) **Z2023-052 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

(5) **Z2023-053 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Richard Chandler of HFS Management, Inc. for the approval of a Zoning Change amending Planned Development District 4 (PD-4) [Ordinance No. 72-03 & 01-26] being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [FM-740], and take any action necessary.

(V) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(6) **SP2023-034 (HENRY LEE)**

Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

(7) **SP2023-038 (ANGELICA GUEVARA)**

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

(8) **SP2023-042 (ANGELICA GUEVARA)**

Discuss and consider a request by Kamran Khan for the approval of an Amended Site Plan for an existing *general retail building* on a 0.55-acre parcel of land identified as Lot 1, Block A, Burgamy Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 1007 Ridge Road, and take any action necessary.

(9) **SP2023-044 (HENRY LEE)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(VI) DISCUSSION ITEMS

(10) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-038: Final Plat for Lot 1, Block A, Tri-Tex Addition (**APPROVED**)
- Z2023-049: Specific Use Permit (SUP) for *Heavy Manufacturing* (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-050: Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit* for 605 E. Washington Street (**2<sup>ND</sup> READING; APPROVED**)
- Z2023-051: Zoning Change from AG to LI for 1775 Airport Road (**2<sup>ND</sup> READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 8, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
NOVEMBER 14, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND  
4 SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

7  
8 Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Kyle Thompson, Jean Conway, Jay Odom, Ross Hustings  
9 and Brian Llewelyn. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planning Technician  
10 Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer  
11 Madelyn Price. Absent from the meeting was Planner Bethany Ross.

## II. OPEN FORUM

14  
15 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
16 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
17 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
18 *Act.*

20 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
21 no one indicating such, Chairman Deckard closed the open forum.

## III. CONSENT AGENDA

24  
25 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
26 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 1. Approval of minutes for the November 1, 2023 Planning and Zoning Commission meeting.

### 2. P2023-034 (ANGELICA GUEVARA)

30 Consider a request by Billy Duckworth of A&W Surveyors, Inc. on behalf of David Gamez for the approval of a Replat for Lots 2 & 3, Block A, Gamez Addition  
31 being a 0.369-acre parcel of land identified as Lot 1, Block A, Gamez Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District,  
32 situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 614 E, Boydston Avenue, and take any action necessary.

34  
35 Vice-Chairman Womble made a motion to approve Consent Agenda. Commissioner Conway seconded the motion which passed by a vote of 7-0.

## IV. PUBLIC HEARING ITEMS

38  
39 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
40 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*  
41 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*  
42 *to three (3) minutes out of respect for the time of other citizens.*

### 3. Z2023-049 (RYAN MILLER)

45 Hold a public hearing to discuss and consider a request by Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a  
46 Specific Use Permit (SUP) for Heavy Manufacturing on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones  
47 Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of  
48 Data Drive and Discovery Boulevard, and take any action necessary.

49  
50 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. The applicant is requesting approval of a specific  
51 use permit (SUP) for a heavy manufacturing facility that will produce hydrogen fuel cells. The reason this is being presented to the commission is  
52 for the reason that they produce a large durable good. The proposed business does appear to be consistent with other businesses in the technology  
53 park area. A SUP is discretionary to the Planning and Zoning Commission and the City Council. Staff did mail out notices to property owners and  
54 occupants within 500-feet of the subject property. This included 16 notices and as of now staff has not received any notices in return. Since this is  
55 a large facility with multiple phases the applicant has requested that the SUP be extended to a four (4) year.

56  
57 Phil Wagner  
58 2610 Observation Trail  
59 Suite 104, Rockwall, TX 75087

60  
61 Mr. Wagner came forward and provided additional details in regard to the request.

63 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating  
64 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.  
65

66 Commissioner Llewelyn made a motion to approve Z2023-049. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.  
67

68 Chairman Deckard advised this item will go before City Council on November 20, 2023.  
69

70 **4. Z2023-050 (ANGELICA GUEVARA)**

71 Hold a public hearing to discuss and consider a request by Keith Green for the approval of a Specific Use Permit (SUP) for Guest Quarters/Secondary Living  
72 Unit on a 0.22-acre parcel of land identified as Block 43A of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7  
73 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and take any action necessary.  
74

75 Planning Technician Angelica Guevara provided a brief summary in regard to the request. The applicant is requesting approval of a Specific Use  
76 Permit (SUP) for the purpose of constructing a 350 SF guest quarters/ secondary living unit on the subject property. The applicant has indicated that  
77 the proposed structure will match the existing single-family home and it'll have a half bath making it a guest quarters/ secondary living unit. Staff  
78 should note that there is an existing 8' x 14' foot or 112 SF accessory building and a separate playhouse on the subject property, however if the  
79 proposed structure is approved it will be taking place of the playhouse on the property. According to the Unified Development Code (UDC) guest  
80 quarters are permitted to be 30% of the square footage of the primary structure. In this case the applicant is permitted by right in 862 SF guest  
81 quarters, the applicant is only requesting a 350 square foot guest quarters that represents approximately 8% of the primary structure. Based on this  
82 the proposed site plan and building elevations the proposed building does meet all the requirements for a guest quarters/ secondary living unit. Staff  
83 should also note that this did have to go before the Historic Preservation Advisory Board (HPAB) and they did approve the Certificate of  
84 Appropriateness (COA). This being a zoning case staff did mail out 82 notices to property owners and occupants within 500- feet of the subject  
85 property. At this time staff has received one (1) notice in regard to the applicant's request.  
86

87 Chairman Deckard opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating  
88 such, Chairman Deckard closed the public hearing and brought the item back to Commission for discussion or action.  
89

90 Commissioner Conway made a motion to approve Z2023-050. Commissioner Hustings seconded the motion which passed by a vote of 7-0.  
91

92 Chairman Deckard advised this item will go before City Council on November 20, 2023.  
93

94 **5. Z2023-051 (ANGELICA GUEVARA)**

95 Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Frank Conselman of Conselman Equities for the  
96 approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.60-acre tract of land identified as Tracts 21 & 21-01 of  
97 the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated in the Airport Overlay (AP OV)  
98 District, addressed as 1775 Airport Road, and take any action necessary.  
99

100 Planning Technician Angelica Guevara provided a brief summary in regard to the request. The applicant is requesting to rezone the property from  
101 an Agricultural (AG) District to a Light Industrial (LI) District. The request is in conformance with the comprehensive plan and the future land use  
102 map. Staff should note that the properties adjacent to the subject property are zoned Light Industrial (LI) District and Agricultural (AG) District.  
103 Based on this the requesting zoning change does appear to conform to the surrounding area. This being a zoning case staff mailed out 14 notices  
104 to property owners and occupants within 500-feet of the subject property. Currently staff has not received any notices in return to the applicant's  
105 request.  
106

107 **Jeff Carroll**  
108 **750 E Interstate 30**  
109 **Rockwall, TX 75087**  
110

111 **Mr. Carroll came forward and provided additional details regarding the request.**  
112

113 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
114 no one indicating such, Chairman Deckard closed the open forum.  
115

116 Commissioner Hustings made a motion to approve Z2023-051. Commissioner Llewelyn seconded the motion which passed by a vote of 7-0.  
117

118 Chairman Deckard advised this item will go before City Council on November 20, 2023.  
119

120 **V.ACTION ITEMS**  
121

122 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
123 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
124

125 **6. SP2023-032 (HENRY LEE)**

126 Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified  
127 as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855  
128 Whitmore Drive, and take any action necessary.  
129

130 Senior Planner Henry Lee provided a brief summary in regard to the request. The applicant is requesting approval of a site plan. They do generally  
131 meet the requirements for property located in the Light Industrial (LI) District, however they do have variances to their building. The primary issue  
132 is the primary and secondary articulation, essentially, they do not have articulation on the building. The Architectural Review Board (ARB) did look  
133 at this and they did recommend denial based that there was no articulation on the building. Staff did request a variance letter for the applicant  
134 indicating that they would be requesting this variance they did not provide us this letter and because they didn't, they also didn't provide  
135 compensatory measures for the requested variances.

136  
137 Chairman Deckard asked about the material selection.

138  
139 Director of Planning and Zoning Ryan Miller mentioned that this case was previously tabled after ARB asked them to re-design the building and  
140 add articulation meeting the ordinance. This was ultimately what they brought back, and this was not in line with what ARB had recommended  
141 therefore ARB moved to deny.

142  
143 After some discussion, Chairman Deckard made a motion to deny SP2023-032. Commissioner Hustings seconded the motion to deny which passed  
144 by a vote of 7-0.

145  
146 **7. SP2023-034 (HENRY LEE)**

147 Discuss and consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a *Site Plan* for  
148 a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of  
149 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane,  
150 and take any action necessary.

151  
152 Senior Planner Henry Lee. Provided a brief summary in regard to the request. The applicant is requesting approval of a site plan. The building does  
153 generally meet all the requirements. They do have several variances associated with this request. ARB did look at this and did make a  
154 recommendation of approval based on these changes. The applicant is requesting a variance to the four (4) side architecture. Less than 20% stone,  
155 less than 90% masonry, tilt-wall construction, roof pitch, landscape buffer and driveway spacing. The first few are related to the building, which are  
156 the ones ARB said they were okay with after they had made the changes they requested. In regard to the landscape buffer trees they currently have  
157 overhead power lines along yellowjacket and in lieu of doing canopy trees they requested on doing all accent trees. In addition to their compensatory  
158 measures, they are providing a 15-foot landscape buffer in lieu of a 10-foot buffer along yellowjacket. For their landscape percentage for the site the  
159 required is 20% and they're providing 31.40%.

160  
161 Chairman Deckard asked about the zoning in that area.

162  
163 Salvador Sanchez & Trenton Jones  
164 3000 Internet Blvd  
165 Suite 550  
166 Frisco, TX 75034

167  
168 Mr. Sanchez and Mr. Jones came forward and provided additional details in regards to the request.

169  
170 Commissioner Odom Made a motion to table this item to the next P&Z Meeting on December 12, 2023. Chairman Deckard seconded the motion which  
171 passed by a vote of 7-0.

172  
173 **8. SP2023-035 (HENRY LEE)**

174 Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a *Site Plan*  
175 for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251-acre tract of land identified as a portion of Lot 3 and all  
176 of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay  
177 (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

178  
179 Senior Planner Henry lee provided a brief summary in regard to the request. The applicant is proposing to build a drive-through restaurant greater  
180 than 2,000 SF. The applicant is generally meeting the requirements for the Unified Development Code (UDC). They are meeting the conditional land  
181 use standards for having the stacking requirements. ARB did look at this tonight because they do have variances to the articulation requirements  
182 and they had made changes in the first meeting, however the ARB did not feel there was enough articulation coming out from the building. They  
183 referenced the applicant to the other McDonald's in town that have more variation in terms of articulation to the building. They also have the variance  
184 of the roof design standards which we've seen on many of these drive-through restaurants because the overlay states that anything less than 6,000  
185 square feet is supposed to have pitched roof but like many other restaurants, they're requesting the parapet which the ARB didn't seem to have any  
186 issues with. For compensatory measures they are mentioning increase masonry percentages, and they have stone percentages that are 14% to 21%  
187 over the required 20% they are using up to 100% masonry on some of the facades. They are mentioning that increased architectural elements such  
188 as spandrel grass, awnings and cornices but staff should note that those aren't necessarily truly compensatory measures because it's required by  
189 the overlay district already to have architectural elements on the building. They have quoted increased landscape percentage which was 1.3% more  
190 than what was required. Lastly, they had a bench and planters as their 4th compensatory measure.

191  
192 Leslie Ford  
193 3224 Collinsworth Street  
194 Fort Worth, TX 76107

195  
196 Mrs. Ford came forward and provided additional details regarding the request.

198 Commissioner Llewelyn made a motion to table this item to the next P&Z Meeting on December 12, 2023. Vice-Chairman Womble seconded the  
199 motion which passed by a vote of 7-0.  
200

201 9. SP2023-036 (HENRY LEE)

202 Discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shae Shoulders of Kennor Rockwall Retail, LLC for the approval  
203 of a Site Plan for two (2) commercial/retail buildings on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall,  
204 Rockwall County, Texas, zoned -General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775  
205 N. Goliad Street [SH-205], and take any action necessary.  
206

207 Senior Planner Henry Lee provided a brief summary in regard to the request. This property may look familiar since a couple months ago they applied  
208 for a SUP for a drive-through restaurant, now coming back to request approval of their site plan. In their SUP they did have requirements for the  
209 three-tiered screening, additional landscaping on the property and headlight screening. They are meeting all the operational conditions of the SUP  
210 as well as the current standards for the UDC. ARB did look at it tonight and they did make a recommendation of approval as they had addressed  
211 their comments from the previous meeting, and they don't have any variances.  
212

213 Commissioner Llewelyn made a motion to approve SP2023-036. Commissioner Conway seconded the motion which passed by a vote of 7-0.  
214

215 10. SP2023-037 (HENRY LEE)

216 Discuss and consider a request by Bart Gardner and James Belt of Gardner Construction on behalf of Corey Fleck of C2LA, LLC for the approval of a Site  
217 Plan for a Light Industrial Building on a 6.50-acre tract of land identified as Tracts 3-1, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134 and Lots 1  
218 & 2, Block A, Eastplex Inc. Park #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated  
219 within the IH-30 Overlay (IH-30 OV) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the  
220 intersection of the IH-30 Frontage Road and Enterprise Drive, and take any action necessary.  
221

222 Senior Planner Henry Lee provided a summary regarding the request. The applicant is requesting approval of a site plan. This building will be located  
223 within the Light Industrial (LI) District. Based on the site plan and the landscape plan they are requesting approval for the light industrial building on  
224 the subject property. They are generally meeting the requirements to unified development code. They are providing screening for loading docks that  
225 will face east towards John King. They are providing screening there for the loading docks which they then continued around the property to the  
226 north or to the right per staff recommendation to continue that landscaping scheme. In addition, they do have variances to the property for the  
227 material requirements and for the articulation. They are proposing a row of shrubs along the building and then along the side of the building to help  
228 screen and provide some relief on that side of the building. The building is primarily metal, they have dressed up the entrance adding stone there as  
229 well and then per ARB's recommendations from last meeting they requested the stone to continue along the east side of the building. As indicated  
230 specifically their variances are to the four-sided architecture the less than 20% stone, greater than 10% secondary materials and to the roof design  
231 standards. The roof design standards require 612 roof pitch, but they are requesting the 312, they felt that the scaling would be an issue not only  
232 given that the building is a metal building the 312 is easier to work with. ARB didn't seem to have an issue with that since they recommended approval  
233 tonight. As staff states the compensatory measures were the shrub row along the west and north side of the building as well as the stone wainscot  
234 they continued which was ARB's recommendation.  
235

236 Bart Gardner  
237 1066 Candice Circle  
238 Rockwall, TX 75032  
239

240 Mr. Gardner came forward and provided additional details regarding the request.  
241

242 Commissioner Conway made a motion to approve SP2023-037. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.  
243

244 11. SP2023-038 (ANGELICA GUEVARA)

245 Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a  
246 Site Plan for Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO) on a 0.93-acre portion of a larger 5.16-acre parcel of land  
247 identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for  
248 General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the  
249 intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.  
250

251 Planning Technician Angelica Guevara provided a summary regarding the request. The applicant is requesting approval of a site plan for the purpose  
252 of constructing a drive through restaurant on the subject property. The landscape plan that was provided by the applicant does not match what was  
253 approved during their SUP process. They are still missing some shrubbery along 205 and the built-up berm. Staff should point out that the site plan  
254 does indicate that they are over parked by about 12 parking spaces, that would potentially provide the extra area for their needed landscaping. Aside  
255 from that their site plan does generally conform to the standards of the general overlay district and the general commercial district. Besides the  
256 variances requested which are the 20% stone requirement 90% masonry the roof design standards of four-sided architecture and the landscape  
257 buffers. In lieu of the variances the applicant is proposing increased landscaping, additional coverings and increased horizontal articulation. Staff  
258 should point out that all these compensatory measures are requirements and they do not meet the ordinances definition for a compensatory measure.  
259 For one of the conditions of approval staff did want to add that the applicant shall provide an updated landscape plan that shows conformance with  
260 the operational requirements that were approved during the SUP process, and they shall also update the photometric plan to be in conformance with  
261 the UDC. The elevations were shown to ARB tonight and they did recommend denial of all variances regarding the building design.  
262

263 Director of Planning and Zoning Ryan Miller stated that the reason ARB recommended denial was because they felt that this was not articulated in  
264 the same manner that other HTeaO are. The material variations weren't the same the front facade wasn't the same.  
265

266 Vice-Chairman Womble asked if it meets the articulation requirements.

267  
268 Commissioner Odom asked what was different regarding the other HTeaO's?

269  
270 Commissioner Conway stated that she was concerned that there was no attempt to provide berms.

271  
272 Lynn Rowland  
273 1903 Central Drive  
274 Bedford, TX 76021

275  
276 Mr. Rowland came forward and provided additional details regarding the request.

277  
278 Cole Harris  
279 211 Renfrow Street,  
280 Rockwall, TX 75087

281  
282 Mr. Harris came forward and provided additional details regarding the request.

283  
284 Commissioner Llewelyn made a motion to table this item to the next P&Z Meeting on December 12, 2023. Chairman Deckard seconded the motion  
285 which passed by a vote of 7-0.

286  
287 12. SP2023-039 (HENRY LEE)

288 Discuss and consider a request by Ronny Klingbeil of RLK Engineering, Inc. on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for  
289 the approval of a Site Plan for existing *Public Secondary School* (i.e. *J. W. Williams Middle School*) on a 26.25-acre parcel of land identified as Lot 1, Block  
290 1, Rockwall Middle School #4 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, North SH-205 Overlay (N. SH-  
291 205 OV) District, addressed as 625 FM-552, and take any action necessary.

292  
293 Senior Planner Henry Lee provided a summary regarding the request. The applicant is requesting approval of a site plan. on their site plan you can  
294 see they're doing an addition to the school. Its split into three separate pieces they have a piece on the north side and internal piece on the southwest  
295 side and then a small addition on the east side adjacent to that parking lot. That being said in the elevations they're showing they're trying to match  
296 the existing materials so that each phase of this building looks the same so there's not any odd breaks and material that can date either phase. With  
297 this they do have one variance and that's the landscape buffer requirements. The main reason they must request this is that the old building was  
298 built under a different code standard and now with the new code standards because they're increasing the existing floor area by 30% supposed to  
299 bring the property to conformance that would be the landscape buffer along 552. They are planting six (6) more canopy trees that landscape buffer  
300 to try to bring it closer into conformance and they're also providing a shrub row in front of the parking. They're also adding shrubbery to screen for  
301 the headlights, so they are trying to bring it closer to conformance. ARB had already approved recommendations during previous meeting.

302  
303 Tim Lyssy  
304 1050 Williams Street  
305 Rockwall, TX 75087

306  
307 Mr. Lyssy came forward and provided additional details in regards to the request.

308  
309 Commissioner Conway made a motion to approve SP2023-039. Commissioner Odom seconded the motion which passed by a vote of 7-0.

310  
311 VI. DISCUSSION ITEMS

312  
313 13. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 314  
315
  - P2023-031: Final Plat for Lot 1, Block A, Hunter Addition (APPROVED)
  - P2023-032: Final Plat for Lots 1 & 2, Block A, Interstate Classic Cars Addition (APPROVED)
  - P2023-033: Final Plat for Lot 1, Block A, John King Office Park Addition (APPROVED)
  - P2023-035: Replat for Lot 3, Block 1, Rockwall Recreation Addition (APPROVED)
  - P2023-036: Final Plat for Lot 1, Block A, Helping Hands Addition (APPROVED)
  - P2023-037: Replat for Lots 17-24, Block 1, Alliance Addition (APPROVED)
  - Z2023-045: Zoning Amendment to Planned Development District 50 (PD-50) for *General Personal Services* (2<sup>ND</sup> READING; APPROVED)
  - Z2023-046: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 715 Sherman Street Lane (2<sup>ND</sup> READING; APPROVED)
  - Z2023-048: Specific Use Permit (SUP) for a *Restaurant, with 2,000 SF of More, with Drive-Through or Drive-In* at 3060 N. Goliad Street [SH-205] (2<sup>ND</sup> READING; APPROVED)

326  
327 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

328  
329 VII. ADJOURNMENT

330  
331 Chairman Deckard adjourned the meeting at 7:24PM.

333 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
334 \_\_\_\_\_, 2023.

335  
336 \_\_\_\_\_  
337 Derek Deckard, Chairman

338 Attest:  
339 \_\_\_\_\_  
340 Melanie Zavala, Planning Coordinator

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
NOVEMBER 28, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

8 **Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were John, Womble, Kyle Thompson, Jean Conway, Jay Odom,**  
9 **Ross Hustings and Brian Llewelyn. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planning**  
10 **Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and**  
11 **Civil Engineer Madelyn Price. Absent from the meeting was Planner Bethany Ross.**

## II. APPOINTMENTS

15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
16 the agenda requiring architectural review.

## III. OPEN FORUM

20 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
21 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
22 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
23 *Act.*

25 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being**  
26 **no one indicating such, Chairman Deckard closed the open forum.**

## IV. CONSENT AGENDA

30 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
31 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 2. P2023-038 (ANGELICA GUEVARA)

34 Consider a request by Erick Nolasco of Eagle Surveying, LLC on behalf of David Lindsay of Tri-Tex Construction, Inc. for the approval of a Final Plat for Lot 1,  
35 Block A, Tri-Tex Addition being a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall  
36 County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

38 **Commissioner Llewelyn made a motion to approve Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.**

## V. ACTION ITEMS

42 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
43 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

### 3. SP2023-033 (ANGELICA GUEVARA)

46 Discuss and consider a request by Dillon Stokes of Stoked Out Services on behalf of Michael Hendricks of Chaparral Partners for the approval of an Amended  
47 Site Plan for the remodel of an existing amenity center for the Eastbank Apartments (i.e. Pebblebrook Apartments) being a 11.579-acre parcel of land identified  
48 as Lot 1, Block A, Pebblebrook Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay  
49 (SH-205 OV) District, addressed as 1410 S. Goliad Street, and take any action necessary.

51 **Planning Technician Angelica Guevara provided a brief summary in regard to the request. The applicant is requesting approval of an amended site**  
52 **plan to change the exterior of the existing leasing office and to add the change structures to the basketball courts. This request was originally**  
53 **brought before you on November 1, 2023 however ARB requested colored building elevations and a material sample board to better explain what the**  
54 **applicant was changing, the applicant then requested an extension to allow them more time to bring these items before you and today the applicants**  
55 **proposing the change part of the exterior facade of the existing leasing center to either a Hardy board siding or metal siding and to raise that one**  
56 **part to about 18 feet in height. The applicant is also proposing shade structures near the basketball courts that will consist of metal posts with cedar**  
57 **elements. Based on the proposed elevations the building does not meet the following standards and will require a variance to the 90% masonry**  
58 **requirement the cementitious and their roof design standards. Although the applicant is not providing any compensatory measures staff should note**  
59 **that the proposed changes to the leasing center and the addition of this shade structures are a reinvestment into an older property and should**  
60 **warrant consideration without compensatory measures. Approval of variances is a discretionary decision for the Planning and Zoning Commission**  
61 **and do require a super majority vote the minimum of four votes in the affirmative. ARB did look at this tonight and they did recommend a motion to**  
62 **approve by a vote of 3-1.**



65 Michael Hendricks  
66 4825 Greenville Avenue  
67 Dallas, TX 75206  
68

69 Mr. Hendricks came forward and provided additional details regarding the request.  
70

71 Chairman Deckard asked what kind of metal they would be using.  
72

73 Commissioner Llewelyn made a motion to approve SP2023-033 based upon ARB recommendations. Commissioner Conway seconded the motion  
74 which passed by a vote of 7-0.  
75

76 **4. SP2023-041 (ANGELICA GUEVARA)**

77 Discuss and consider a request by Alejandro Orfanos of POP Restaurants, LLC for the approval of an Amended Site Plan for an existing *restaurant with drive-*  
78 *through* on a 0.64-acre parcel of land identified as Lot 1, Block A, Popeye's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District,  
79 situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 2535 Ridge Road, and take any action necessary.  
80

81 Planning Technician Angelica Guevara provided a brief summary in regard to the request. Staff was notified by the building inspections department  
82 that work had commenced for a remodel on the subject property. The applicants were told to stop working until appropriate permits were approved  
83 by staff which then prompted the applicant to apply for an amended site plan. The finished work on the building consisted of painting the entire  
84 existing building white and removing the canopies and shutters. On November 13, 2023, they submitted new building elevations indicating the  
85 addition of a mural and the addition of metal flat canopies to the building. Based on the general overlay district standards the proposed mural on the  
86 building will require a variance for corporate branding on the subject property. Staff will point out that this variance for murals associated with  
87 branding elements have been approved for other restaurants in the IH30 corridor which most recently being Velvet Taco however the approval of the  
88 requested variance is a discretionary decision for the Planning and Zoning Commission and will also require a supermajority vote. ARB also  
89 recommended approval for this case by a vote of 3-0.  
90

91 Chairman Deckard asked what the definition of murals would be.  
92

93 Commissioner Odom asked what side the mural would be facing.  
94

95 Commissioner Conway is concerned about murals setting a precedent.  
96

97 Commissioner Llewelyn made a motion to approve SP2023-041. Vice-Chairman Womble seconded the motion which passed by a vote of 6-1.  
98 Commissioner Conway dissenting.  
99

100  
101 **5. SP2023-043 (ANGELICA GUEVARA)**

102 Discuss and consider a request by Brent Northington of MJDII Architects, Inc. on behalf of Carolina Molina of Alvaplast US Development, LLC for the approval  
103 of an Amended Site Plan for an existing *warehouse/manufacturing facility* on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy  
104 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard, and take any action necessary.  
105

106 Planning Technician Angelica Guevara provided a summary regarding the request. Earlier this year the applicant had received approval of an  
107 amended site plan to allow for the expansion of the existing warehouse. The applicants are now requesting approval of a site plan to add a pump  
108 house to the subject property. Based on the building elevations provided the applicant has made changes to the building materials for the proposed  
109 pump house so these went from being a fiberglass full brick exterior to a metal paneling exterior. Based on this the proposed building does not  
110 meet the requirements of the general industrial district standards and will require exceptions to the roof design standards the building articulation  
111 requirements and the building materials. Staff should note that the proposed building will be internal to the site and the applicant will be providing  
112 additional landscaping as a compensatory measure specifically the applicant will be adding a row of trees along the private drive for screening.  
113 Exceptions are also discretionary decisions for the Planning and Zoning commission and require a minimum of four votes in the affirmative. ARB  
114 also looked at this tonight and they did recommend approval by a vote of 3-0.  
115

116 Brent Northington  
117 16775 Addison Road  
118 Addison, TX 75001  
119

120 Mr. Northington came forward and provided additional details in regard to the request.  
121

122 Commissioner Conway made a motion to approve SP2023-043. Commissioner Hustings seconded the motion which passed by a vote of 7-0.  
123

124 **6. SP2023-045 (ANGELICA GUEVARA)**

125 Discuss and consider a request by Steven Huffman of Huffman Communications Sales, Inc. on behalf of David Naylor of Rayburn Country Electric Cooperative  
126 for the approval of an Amended Site Plan for an Industrial Campus on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country  
127 Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated  
128 within the SH-205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.  
129

130 Planning Technician Angelica Guevara provided a summary in regard to the request. Staff received an application for a commercial building permit  
131 for a new communications utility building on the subject property and based on the building elevations provided in the building permit the applicant  
132 added a new communications utility building that was to be constructed out of prefabricated aggregate concrete panels, staff then requested that

133 the applicant submit an amended site plan due to the building not meeting the architectural requirements of the general commercial district. Based  
134 on the provided building elevations that proposed communications building will require exceptions to the roof design standards and the building  
135 articulation requirements. Staff should note that the proposed building will be internal to the site and will not be visible from the right of way.  
136

137 Steven Huffman  
138 2829 W 7<sup>th</sup> Ave  
139 Corsicana, TX 75110  
140

141 Mr. Huffman came forward and provided additional details regarding the request.  
142

143 Commissioner Hustings made a motion to approve SP2023-045. Commissioner Thompson seconded the motion which passed by a vote of 7-0.  
144

145 7. MIS2023-018 (HENRY LEE)

146 Discuss and consider a request by Jean-Paul Aube III for the approval of a *Miscellaneous Case* for the approval of artificial or synthetic plant materials on a  
147 0.207-acre parcel of land identified as Lot 12 of the Dawson Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated  
148 within the Old Town Rockwall Historic (OTR) District, addressed as 509 Munson Street, and take any action necessary.  
149

150 Senior Planner Henry Lee provided a summary in regard to the request. The applicant is requesting a variance to the landscape material standards.  
151 The request is to put artificial turf in the front yard of the property. They would want to replace that with artificial turf. The applicants indicated that  
152 this request is being made due to thick grass has not been able to be established previously on this property which is why they're making this  
153 request. Staff did send out the city arborist to look and see if there were any issues with the site that would prevent grass from being grow. They  
154 did not find anything that would prevent grass from going there based on their inspection. This is also located within the historic district; however,  
155 the historic district does not have a purview over landscape materials which is why it's coming directly to the Planning and Zoning Commission.  
156 Staff has not approved any artificial turf in the front yard or anywhere else in Rockwall. There has been some in the rear yards but that's due to not  
157 being visible from public right away.  
158

159 Paul Aube II  
160 509 Munson Street  
161 Rockwall, TX 75087  
162

163 Mr. Aube came forward and provided additional details regarding the request.  
164

165 Commissioner Conway asked if son knows why grass has not been growing.  
166

167 Commissioner Husting asked if they read the letter Director of Parks recommended.  
168

169 Commissioner Conway made a motion to deny MIS2023-018. Chairman Deckard seconded the motion to deny which passed by a vote of 7-0.  
170

171  
172 VI. DISCUSSION ITEMS  
173

174 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*  
175 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*  
176 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*  
177 *following cases is December 12, 2023.*  
178

179 8. Z2023-052 (HENRY LEE)

180 Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul  
181 Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a *Specific Use Permit (SUP)* for an *Office Building* that will exceed  
182 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of  
183 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District,  
184 generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.  
185

186 Senior Planner Henry Lee provided a summary regarding the request. The SUP being requested due to increase the maximum height of 220 feet.  
187 This was worthy of putting into a planned development district since the commercial district already allows the uses regarding what the applicant  
188 will be targeting for future development. The height limitation is what is getting them in. Addition to that the applicant also requested that a time  
189 frame of 10 years be allotted to this specific use permit just as they're searching for potential businesses to come into this property and staff felt like  
190 that shouldn't be an issue given also that this is the Economic Development Corporation.  
191

192 Mathew Wavering  
193 2610 Observation Trail  
194 Rockwall, TX 75032  
195

196 Mr. Wavering came forward and provided additional details regarding the request.  
197

198 Commissioner Llewelyn asked if the parking garage would be for office buildings.  
199

200 Chairman Deckard advised that this item will go before the Commission for discussion or action on December 12, 2023.

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**9. Z2023-053 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Richard Chandler of HFS Management, Inc. for the approval of a Zoning Change amending Planned Development District 4 (PD-4) [Ordinance No. 72-03 & 01-26] being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [FM-740], and take any action necessary.

Senior Planner Henry Lee provided a summary in regard to the request. They are requesting a height increase of 90 feet that will be more in line with the existing buildings that are there. This request is a little different since it is already within a planned development district it has the same height limitations. Instead of doing a SUP staff felt that updating the plan development district with those standards and then tailoring it more to the Economic Development Corporation is targeting for their clientele updating the PD would facilitate them better.

Chairman Deckard advised that this item will go before the Commission for discussion or action on December 12, 2023.

**10. SP2023-042 (ANGELICA GUEVARA)**

Discuss and consider a request by Kamran Khan for the approval of an Amended Site Plan for an existing *general retail building* on a 0.55-acre parcel of land identified as Lot 1, Block A, Burgamy Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 1007 Ridge Road, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regard to the request. The applicant is requesting approval of an amended site plan. Based on what was submitted the applicant will be making changes to the building facade and adding a dumpster to the subject property. Staff will be working with the applicant through the project comments. ARB did have a recommendation that they go ahead and screen the AC units by bringing the brick up on the sides.

Abel Cisneros  
805 Green Pond Drive  
Garland, TX 75040

Mr. Cisneros came forward and provided additional details in regards to the request.

Chairman Deckard advised that this item will go before the Commission for discussion or action on December 12, 2023.

**11. SP2023-044 (HENRY LEE)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant has resubmitted for the same request they have before. They had to get approval from the FAA to make sure the buildings would be okay in terms of the overlay zone that they have near the airport. The ARB did look at this and on buildings 2 and 3 the comments they had were to raise the stone on the rear of the property which will face directly the east adjacent property. They also requested for a row of canopy trees behind those buildings to screen the metal facade.

Commissioner Thompson said buildings 2 and 3 have not been improved.

Commissioner Conway said articulation would make it better.

Roy Bhavi  
835 Tillman Drive  
Allen, TX 75013

Mr. Bhavi came forward and provided additional details in regards to the request.

Chairman Deckard advised that this item will go before the Commission for discussion or action on December 12, 2023.

**12. SP2023-046 (HENRY LEE)**

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Stephen Pepper of SH Dev Klutts Rockwall, LLC for the approval of a Site Plan for Phase 1 of the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is proposing a site plan for the amenity center. The elevations do meet all the requirements for that Planned Development ordinance.

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**Meredith Joyce**  
**767 Justin Road**  
**Rockwall, TX 75087**

**Mrs. Joyce came forward and provided additional details in regards to the request.**

**Chairman Deckard advised that this item will go before the Commission for discussion or action on December 12, 2023.**

13. **Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- P2023-034: Replat for Lots 2 & 3, Block A, Gamez Addition (**APPROVED**)
- Z2023-049: Specific Use Permit (SUP) for *Heavy Manufacturing* (**1<sup>ST</sup> READING; APPROVED**)
- Z2023-050: Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit* for 605 E. Washington Street (**1<sup>ST</sup> READING; APPROVED**)
- Z2023-051: Zoning Change from AG to LI for 1775 Airport Road (**1<sup>ST</sup> READING; APPROVED**)

**Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

VII.ADJOURNMENT

**Chairman Deckard adjourned the meeting at 7:21PM.**

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Derek Deckard, Chairman

Attest:

\_\_\_\_\_  
Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** December 12, 2023  
**SUBJECT:** SP2023-046; *PD Site Plan for the Homestead Subdivision Amenity Center*

---

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the amenity center within the Homestead Subdivision. The Homestead Subdivision is situated on a 196.009-acre tract of land (i.e. *Tract 6 of the J. A. Ramsey Survey, Abstract No. 186*) that is generally located at the northeast corner of the intersection of FM-549 and FM-1139. Phase 1 of the Homestead Subdivision was approved for a *Final Plat [Case No. P2022-055]* and a *PD Site Plan [Case No. SP2022-048]* in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application, the applicant has submitted a site plan, landscape plan, hardscape plan, photometric plan, and building elevations for the proposed amenity center.

The site plan submitted by the applicant indicates that a pavilion with restrooms, swimming pool, and parking lot will be constructed on the subject property. The landscape plan shows that all of the required landscaping as stipulated by the Planned Development District ordinance will be provided, and that the pool equipment will be screened in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The hardscape plan details the location of all sidewalks and trails, the pool, and each fence types associated with the development. The submitted site plan, landscape plan, hardscape plan, photometric plan, and building elevations all conform to the applicable technical requirements contained in Planned Development District 92 (PD-92) and the Unified Development Code (UDC). Since the proposed site plan conforms to the technical requirements, this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the December 12, 2023 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Homestead

SUBDIVISION: Homestead

LOT: 9 BLOCK: F

GENERAL LOCATION: Corner of Fisher Road and Hardin Boulevard

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreation Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreation Center

ACREAGE: 1.60

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: SH DEV KLUTTS ROCKWALL LLC

APPLICANT: Johnson Volk Consulting

CONTACT PERSON: Stephen Pepper

CONTACT PERSON: Cody Johnson

ADDRESS: 2400 Dallas Parkway  
Suite 460

ADDRESS: 704 Central Parkway East  
Suite 1200

CITY, STATE & ZIP: Plano, Texas 75093

CITY, STATE & ZIP: Plano, Texas 75074

PHONE: 972-526-7700

PHONE: 972-201-3100

E-MAIL: stephen.pepper@shaddockhomes.com

E-MAIL: cody.johnson@johnsonvolk.com

## NOTARY VERIFICATION [REQUIRED]

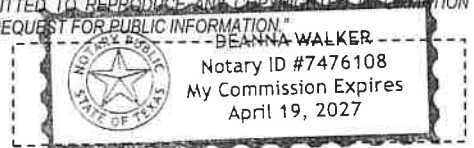
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Pepper [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 382.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF November, 2023

OWNER'S SIGNATURE

*Stephen Pepper*

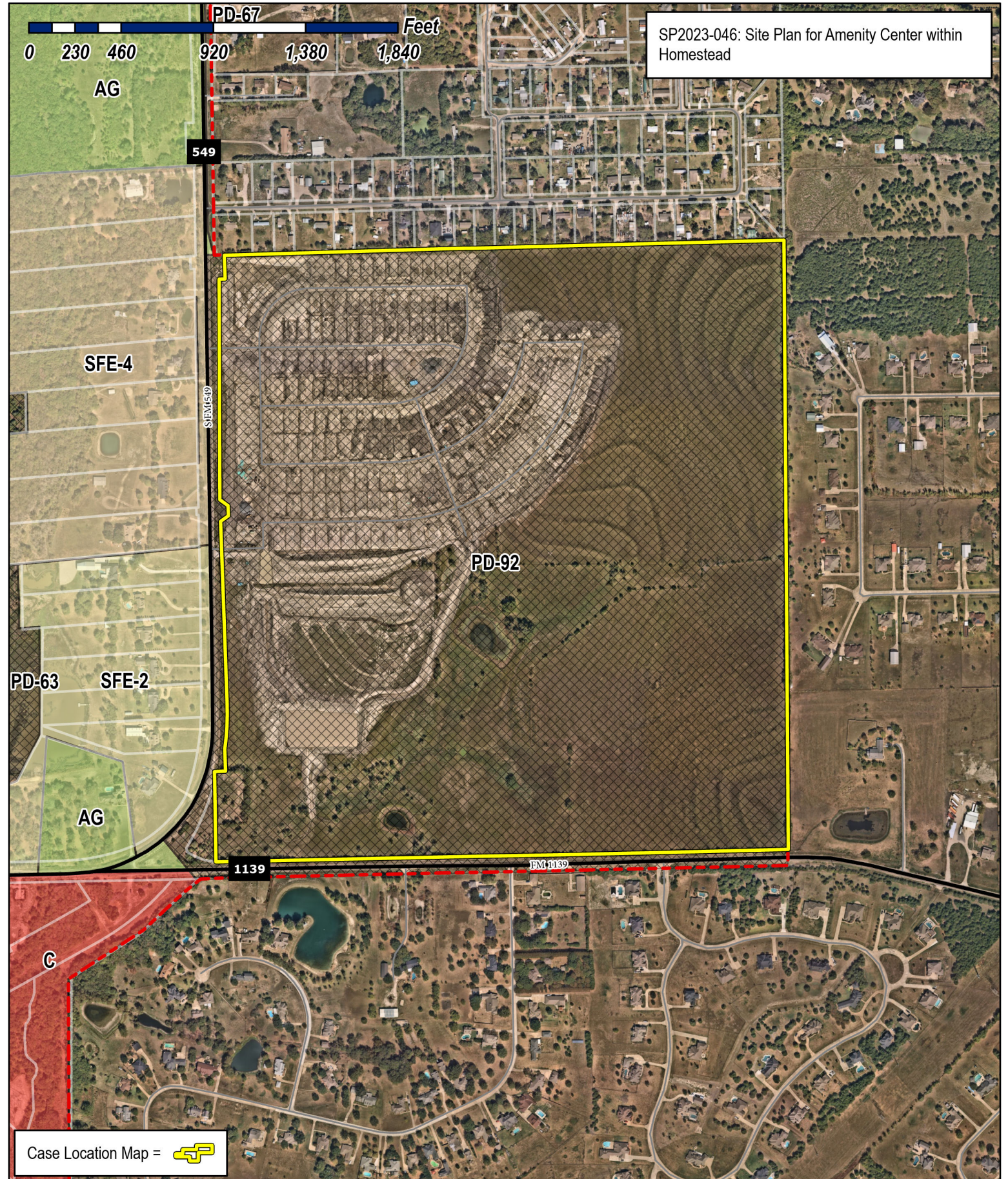


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Beanna Walker*

MY COMMISSION EXPIRES





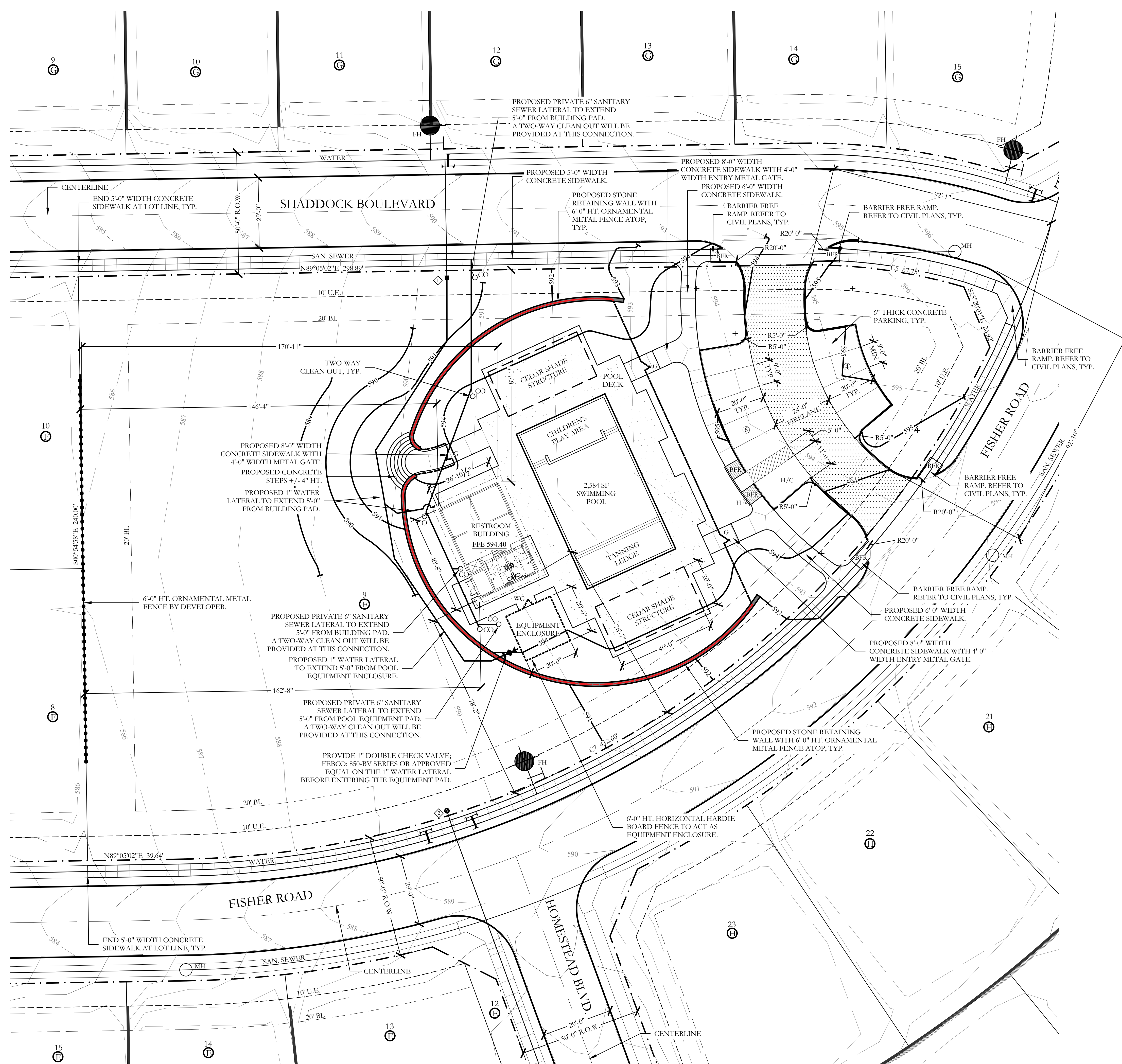
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**LEGEND**

- ④ PROPOSED PARKING COUNT
- H/C PROPOSED HANDICAP PARKING SPACE
- BFR PROPOSED BARRIER FREE RAMP
- FH EXISTING FIRE HYDRANT
- MH EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN W/ VALVE
- EXISTING SANITARY SEWER
- - - RIGHT-OF-WAY
- - - EXISTING CONTOUR INTERVAL
- - - PROPOSED CONTOUR INTERVAL
- FFE 594.40 FINISHED FLOOR ELEVATION
- ◊ PROPOSED 1.5" DOMESTIC WATER METER
- ◊ PROPOSED 1.5" IRRIGATION WATER METER
- H HANDICAP PARKING SIGN
- PROPOSED STONE RETAINING WALL
- ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
- ORNAMENTAL METAL FENCE ATOP RETAINING WALL (6'-0" HT. AROUND SWIMMING POOL AREA)
- 1-4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
- 1-4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
- 6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
- ORNAMENTAL METAL FENCE ALONG PROPERTY LINE
- FIRELANE PAVING PER CITY STANDARD DETAILS

**WATER METER SCHEDULE**

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
◊	1.5"	1.5"	X		6"
◊	1.5"	1.5"		X	6"

**SITE PLAN NOTES:**

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
- STANDARD PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.

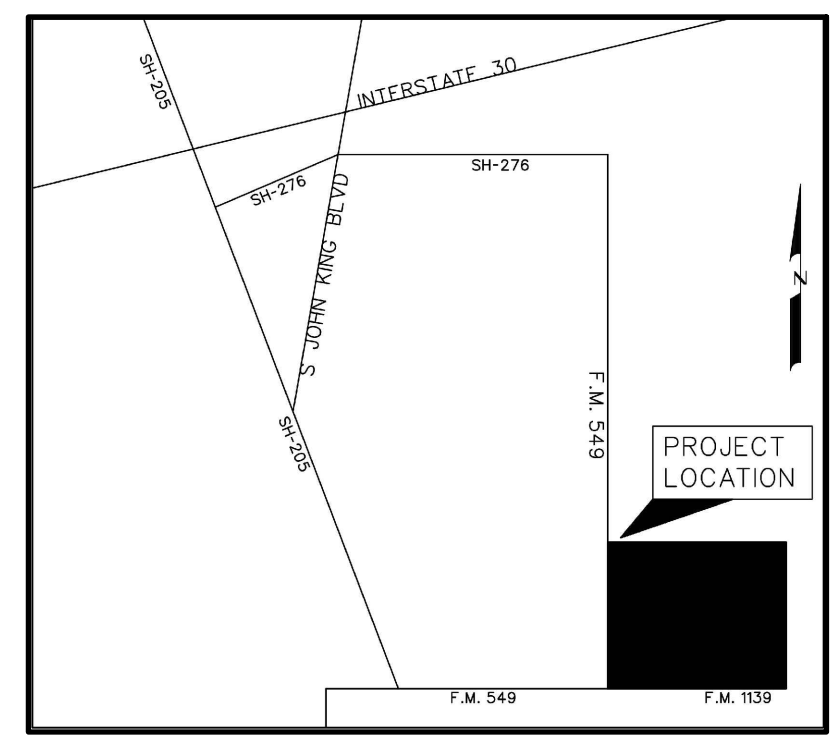
**SITE INFORMATION**

SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 1.60 ACRES  
 69,696.00 SQ. FT.  
 BUILDING AREA: 1,092.73 SQUARE FEET  
 BUILDING HEIGHT: 22'-7" (1 STORY)  
 FLOOR TO AREA: 0.0156:1 (1,092.73/69,696.00)  
 LOT COVERAGE: 1.56%  
 PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE  
 1,092.73/250=4.37  
 5 REQUIRED SPACES  
 PARKING PROVIDED: 10 TOTAL, (WITH 1 HANDICAP)  
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS  
 TOTAL IMPERVIOUS SURFACE: 16,759.40 SF  
 PROPOSED IMPERVIOUS RATIO: 0.244 OR 24.04%  
 INTERIOR LANDSCAPE PROVIDED: 52,936.60 SF  
 POOL DECK SURFACE: 5,524.59 SF

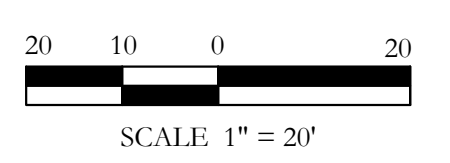
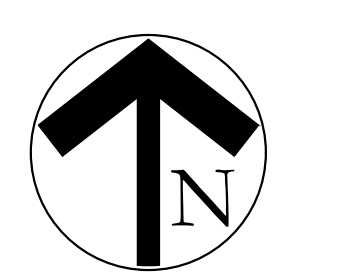
**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



LOCATION MAP  
 NOT TO SCALE



**SITE PLAN  
 HOMESTEAD, PHASE 1  
 LOT 9, BLOCK F  
 ~AMENITY CENTER~**

BEING 1.600 ACRES OUT OF THE  
 J.A. RAMSEY SURVEY  
 ABSTRACT NO. 186 IN THE  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**  
 SHADDOCK HOMES, INC  
 2400 DALLAS PARKWAY, SUITE 460  
 MCKINNEY, TEXAS 75093  
 CONTACT: LORA ERDMAN  
**LANDSCAPE ARCHITECT/CIVIL ENGINEER:**  
 JOHNSON VOLK CONSULTING  
 704 CENTRAL PARKWAY EAST, SUITE 1200  
 PLANO, TEXAS 75074  
 PH. 972-201-3100  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

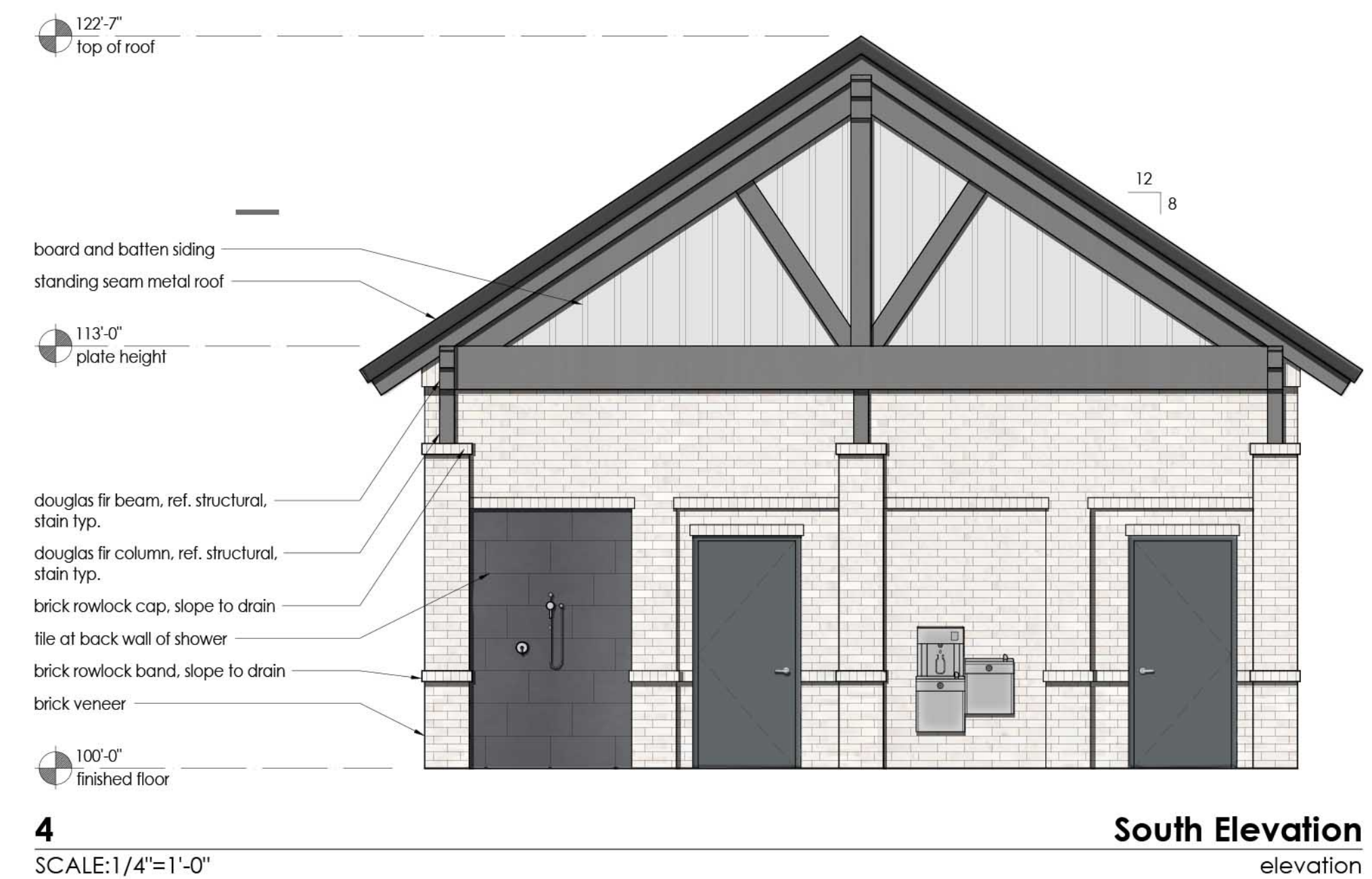
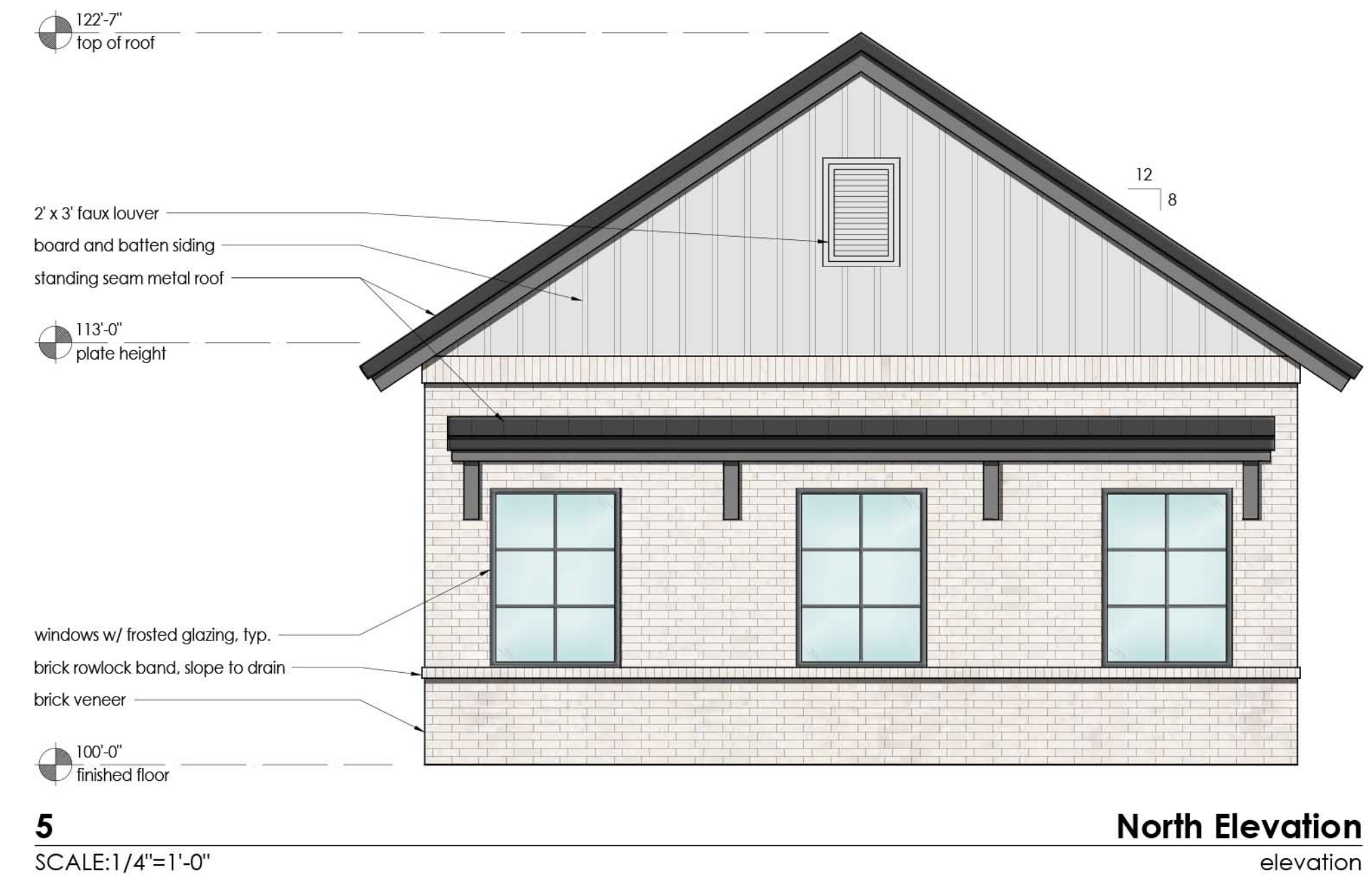
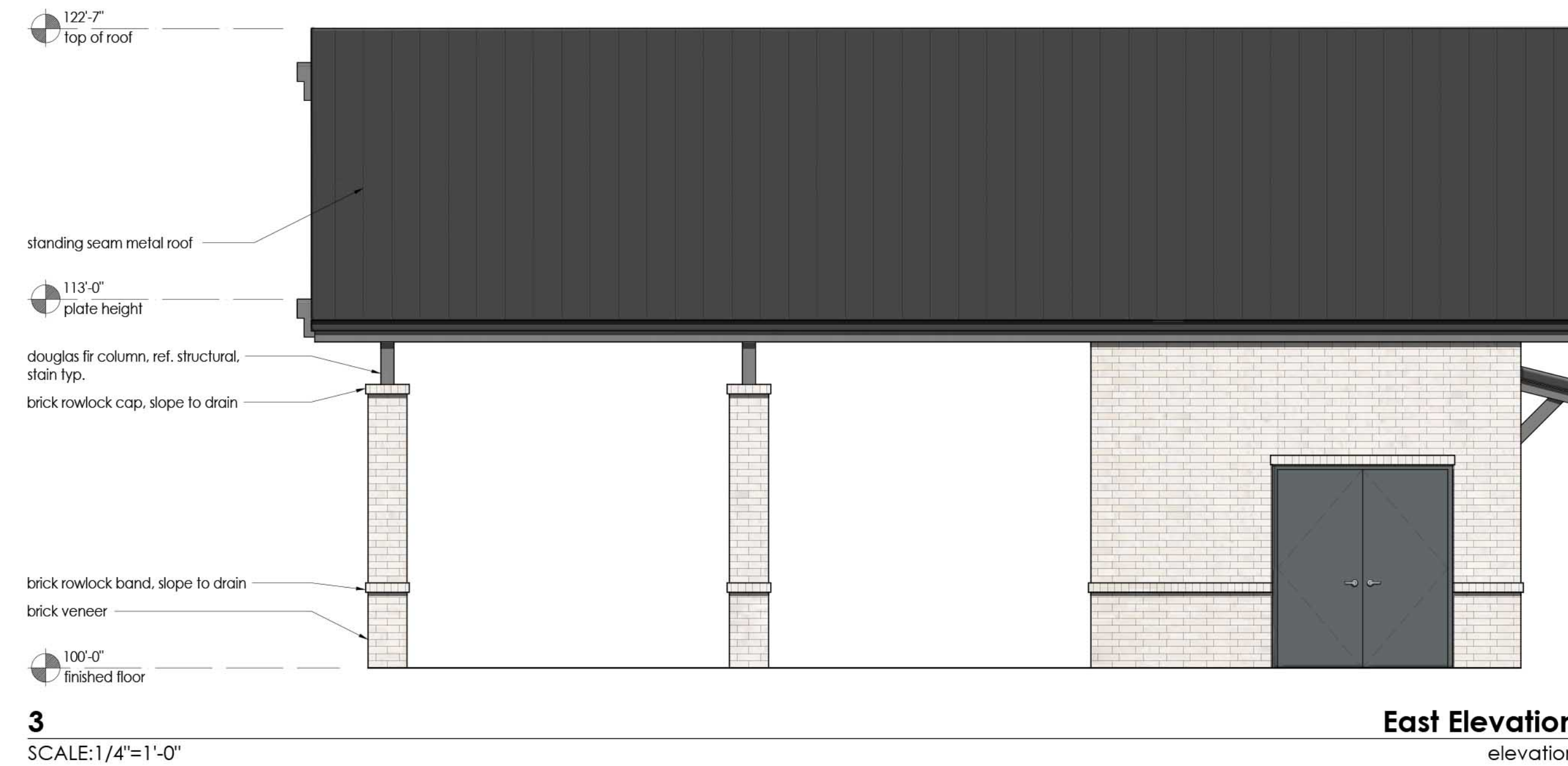


December 05, 2023



### BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT. (EXCLUDING DOORS/WINDOWS/TRIM/ROOF AREA)	341 S.F.	-	400 S.F.	-	141 S.F.	-	164 S.F.	-
PRIMARY MATERIAL TOTALS	338 S.F.	99.12%	288 S.F.	72.00%	139 S.F.	98.58%	162 S.F.	98.78%
BRICK VENEER	229 S.F.	67.16%	226 S.F.	56.50%	139 S.F.	98.58%	162 S.F.	98.78%
BOARD AND BATTEN FIBER CEMENT SIDING	109 S.F.	31.96%	62 S.F.	15.50%	-	-	-	-
SECONDARY MATERIALS	3 S.F.	0.88%	112 S.F.	28.00%	2 S.F.	1.42%	2 S.F.	1.22%
DOUGLAS FIR BEAMS/COLUMNS	3 S.F.	0.88%	72 S.F.	18.00%	2 S.F.	1.42%	2 S.F.	1.22%
TILE AT SHOWER	-	-	40 S.F.	10.00%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	72 S.F.	-	48 S.F.	-	45 S.F.	-	22 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-



### FACADE PLAN HOMESTEAD, PHASE 1 LOT 9, BLOCK F ~AMENITY CENTER~

BEING 1.600 ACRES OUT OF THE  
J.A. RAMSEY SURVEY  
ABSTRACT NO. 186 IN THE  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**OWNER / DEVELOPER:**

SHADDOCK HOMES, INC  
2400 DALLAS PARKWAY, SUITE 460  
MCKINNEY, TEXAS 75093  
CONTACT: LORA ERDMAN

**LANDSCAPE ARCHITECT/CIVIL ENGINEER:**

JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE 1200  
PLANO, TEXAS 75074  
PH. 972-201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI





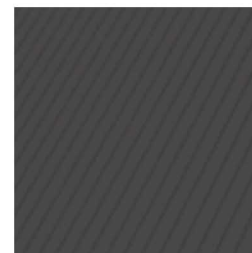
SHERWIN WILLIAMS  
WEB GRAY  
SW 7075



ACME BRICK  
ASHWOOD



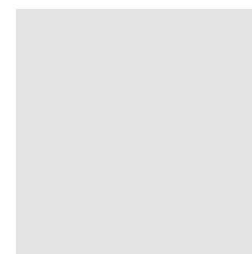
SHERWIN WILLIAMS  
KINGS CANYON (WOOD STAIN)  
SW 3026



MUELLER, INC.  
DARK CHARCOAL



DALTILE  
DARK GREY (TILE)  
12 X 24



SHERWIN WILLIAMS  
ICE CUBE  
SW 6252



GLASS WINDOW  
WITH  
FROSTED GLAZING

OWNER/DEVELOPER:

SHADDOCK HOMES, INC  
2400 DALLAS PARKWAY, SUITE 460  
MCKINNEY, TEXAS 75093  
CONTACT: LORA ERDMAN  
PHONE: 972-526-7645  
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CONTACT: CODY JOHNSON, RLA, ASLA, LI  
PHONE: 972-201-3100  
EMAIL: CODYJOHNSON@JOHNSONVOLK.COM

SUBMITTAL DATE: November 13, 2023

SEAL

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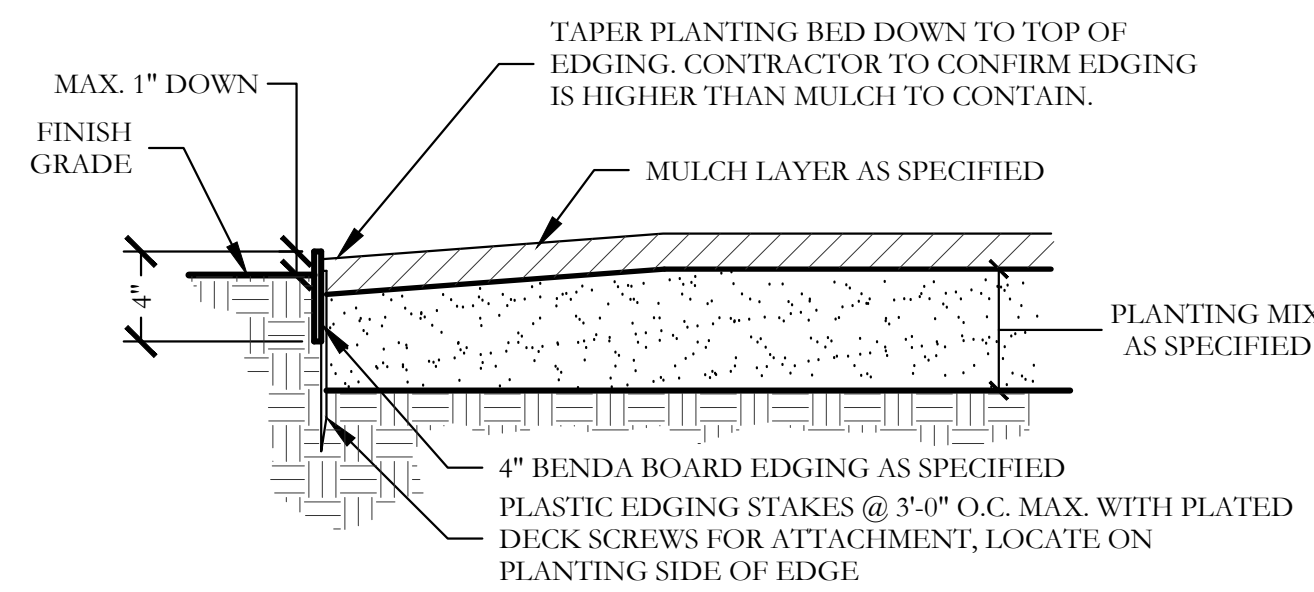
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
JOB NO. \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
APPD: \_\_\_\_\_  
ACAD # \_\_\_\_\_

DRAWING NO. \_\_\_\_\_ REV. NO. \_\_\_\_\_

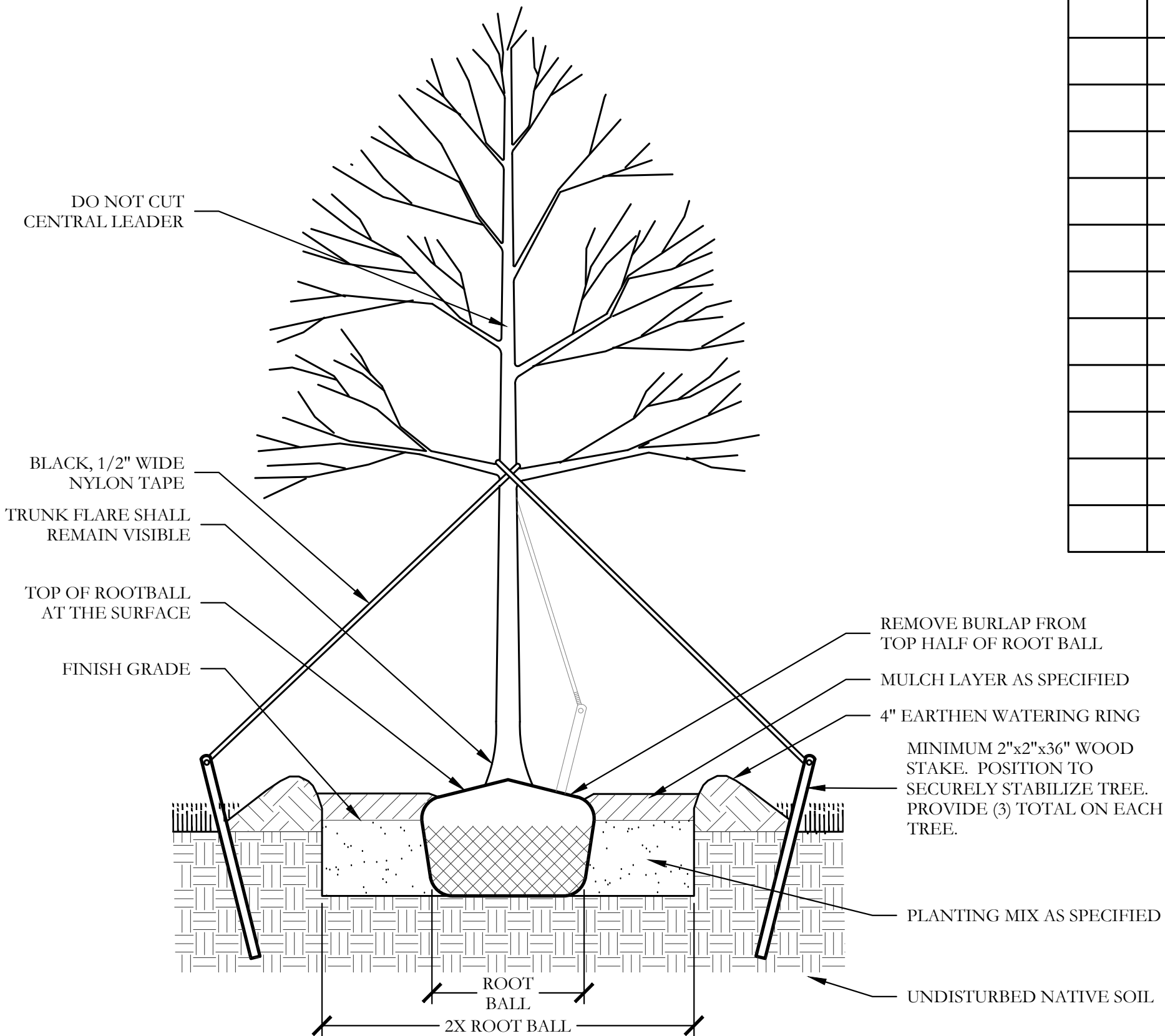




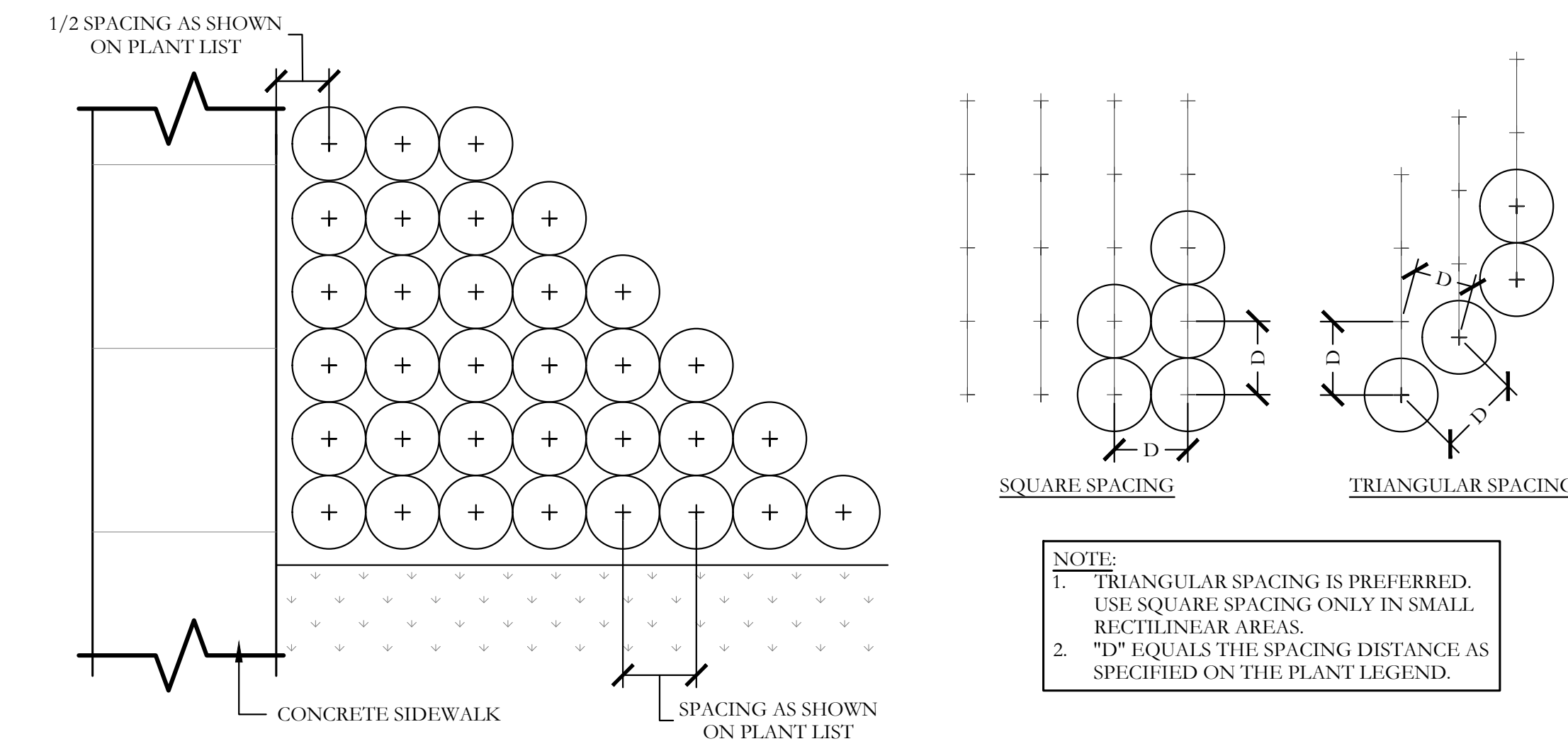




**1** TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



**2** TYPICAL TREE PLANTING SECTION NOT TO SCALE



**3** TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	7	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	10	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LGM	3	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	4	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	8	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	21	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	74	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	67	GLOSSY ABELIA	LINNAEA X GRANDIFLORA	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	42	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	6	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	6	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	10	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	21	RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	PLUM YEW PROSTRATA	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	3 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	825	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	85	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	825	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	50,135	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

**GENERAL LANDSCAPE NOTES**

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOILS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

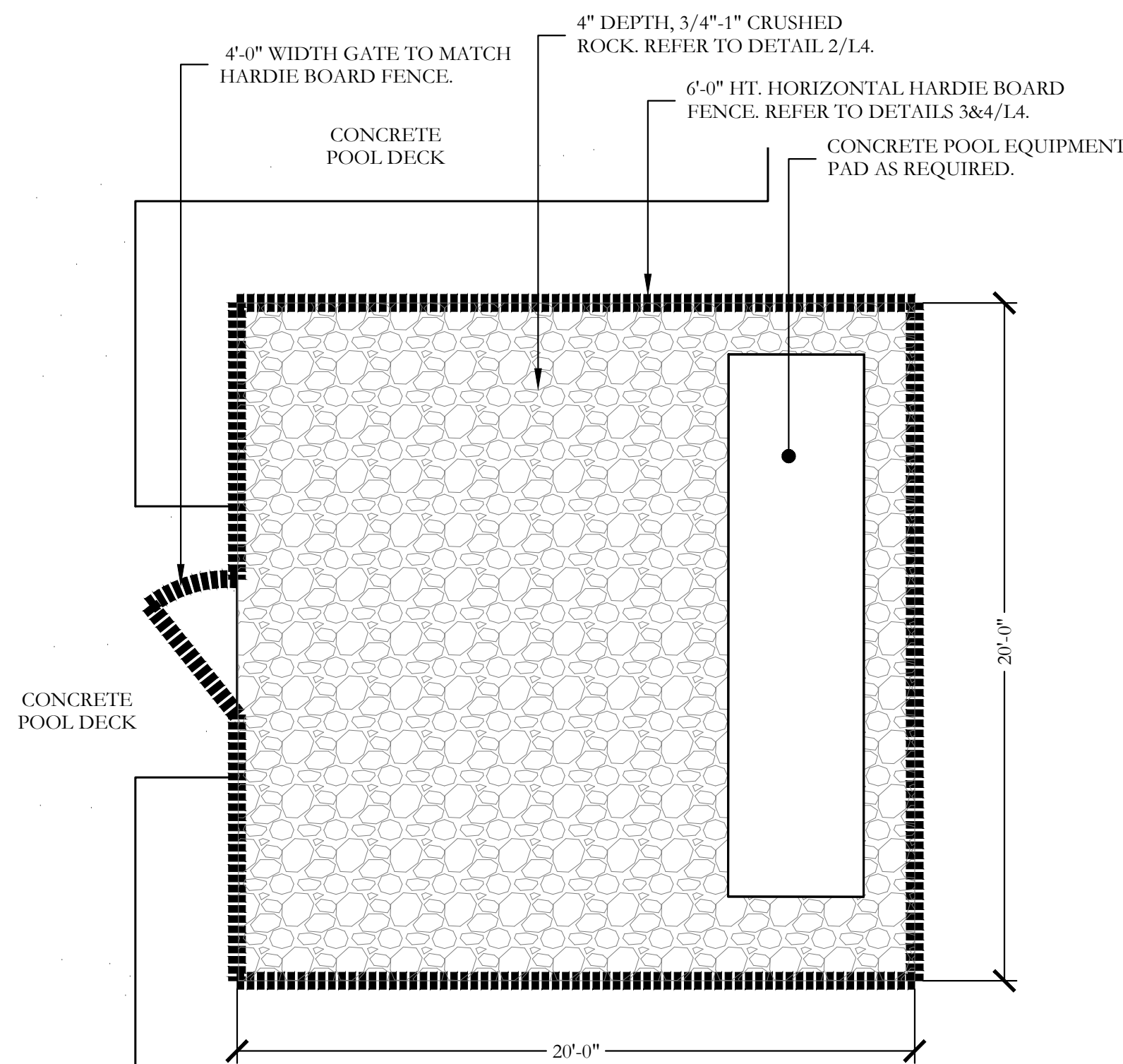
**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

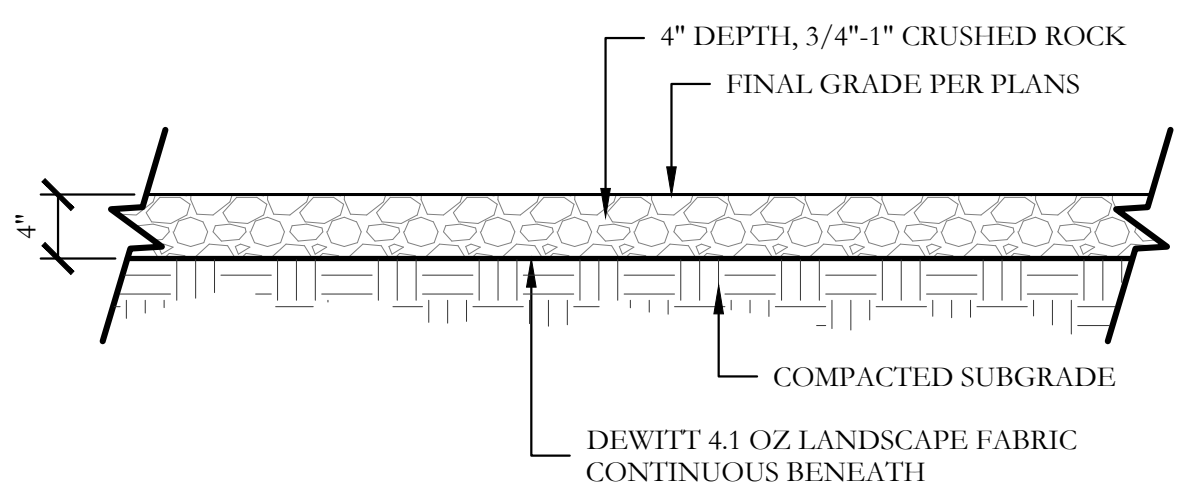
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

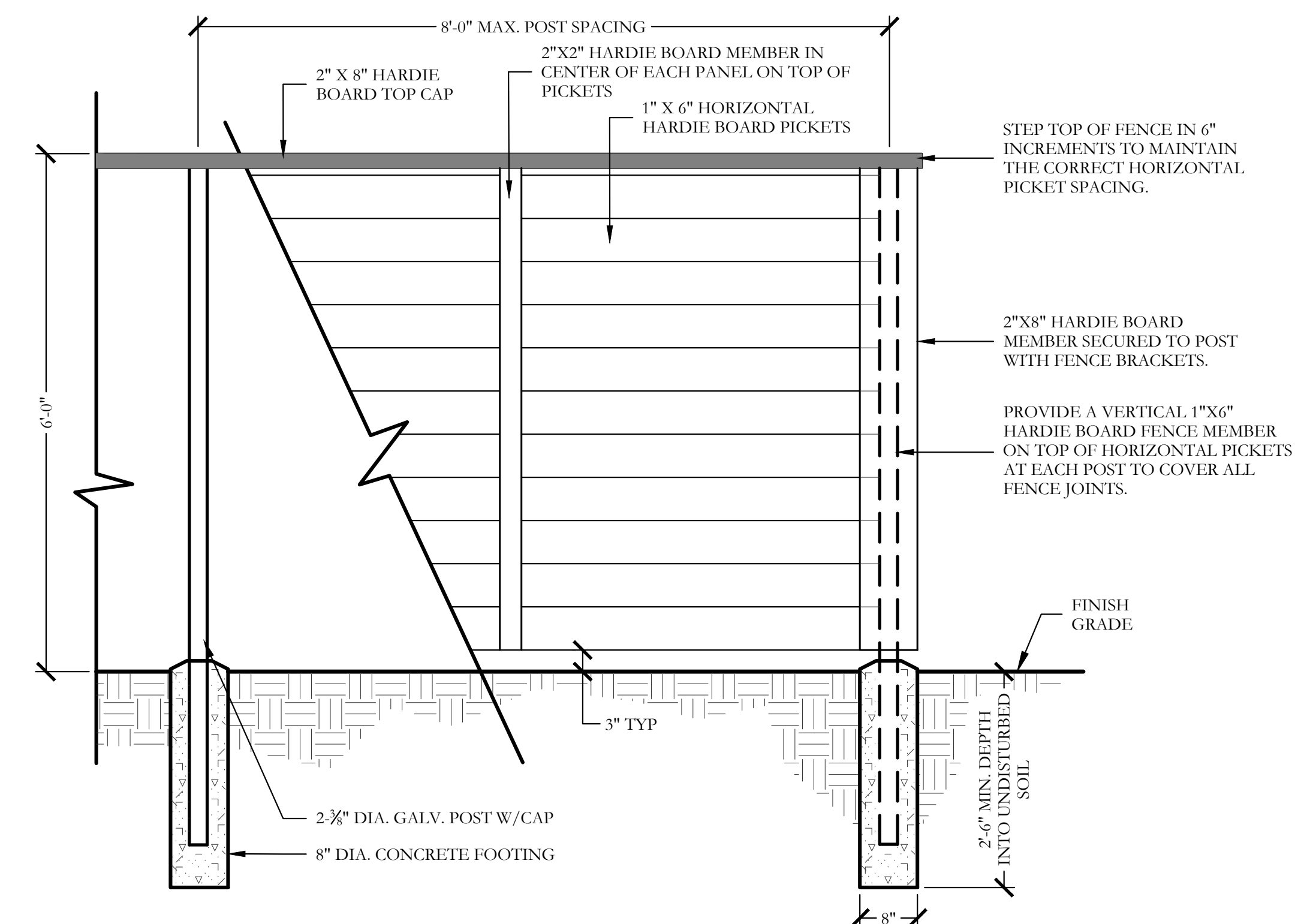




**1 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



**2 CRUSHED ROCK BASE SECTION**  
SCALE: 1" = 1'-0"



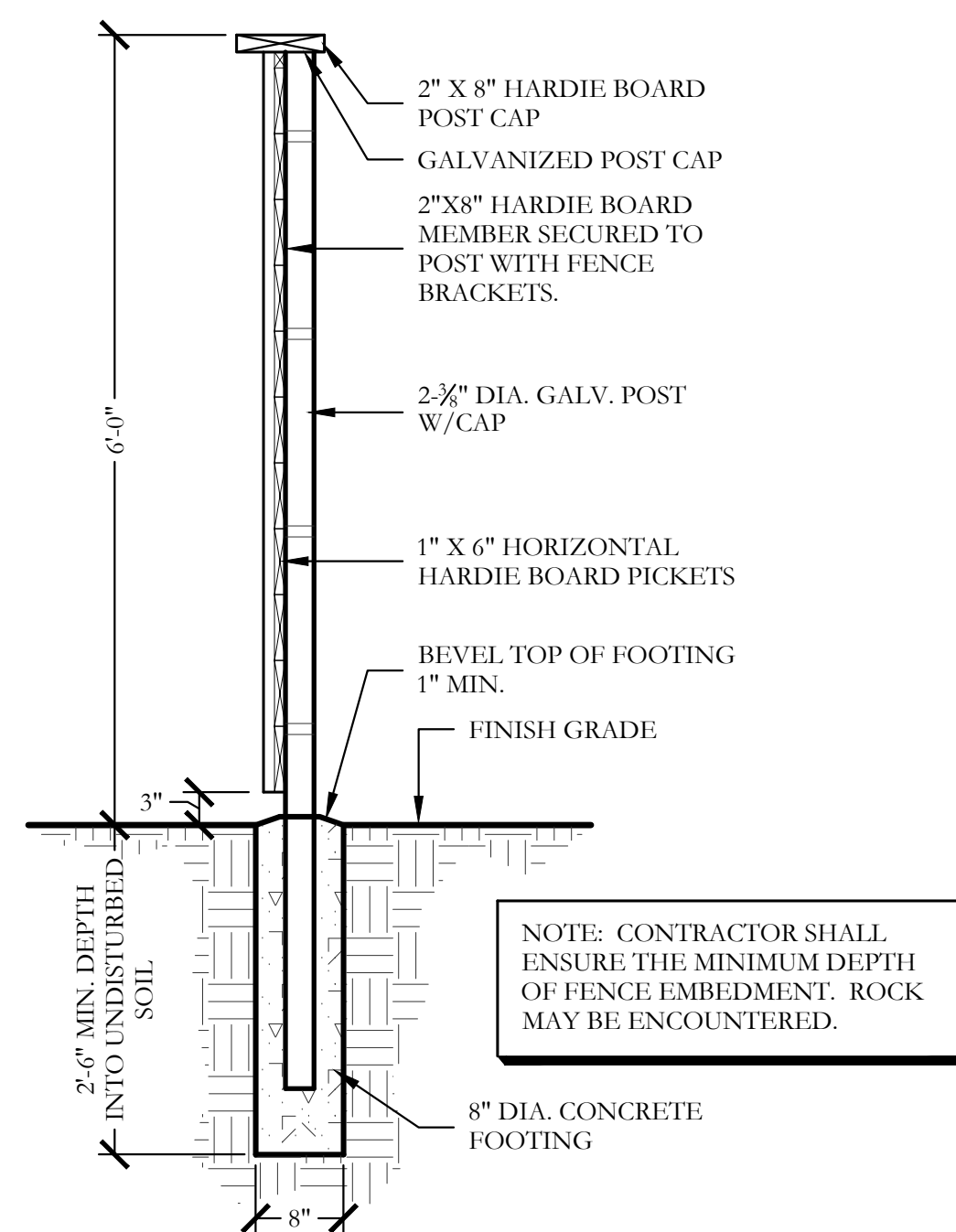
**3 6'-0" HT. HORIZONTAL HARDIE BOARD FENCE ELEVATION**  
SCALE: 3/4" = 1'-0"

**HORIZONTAL HARDIE BOARD FENCE NOTES**

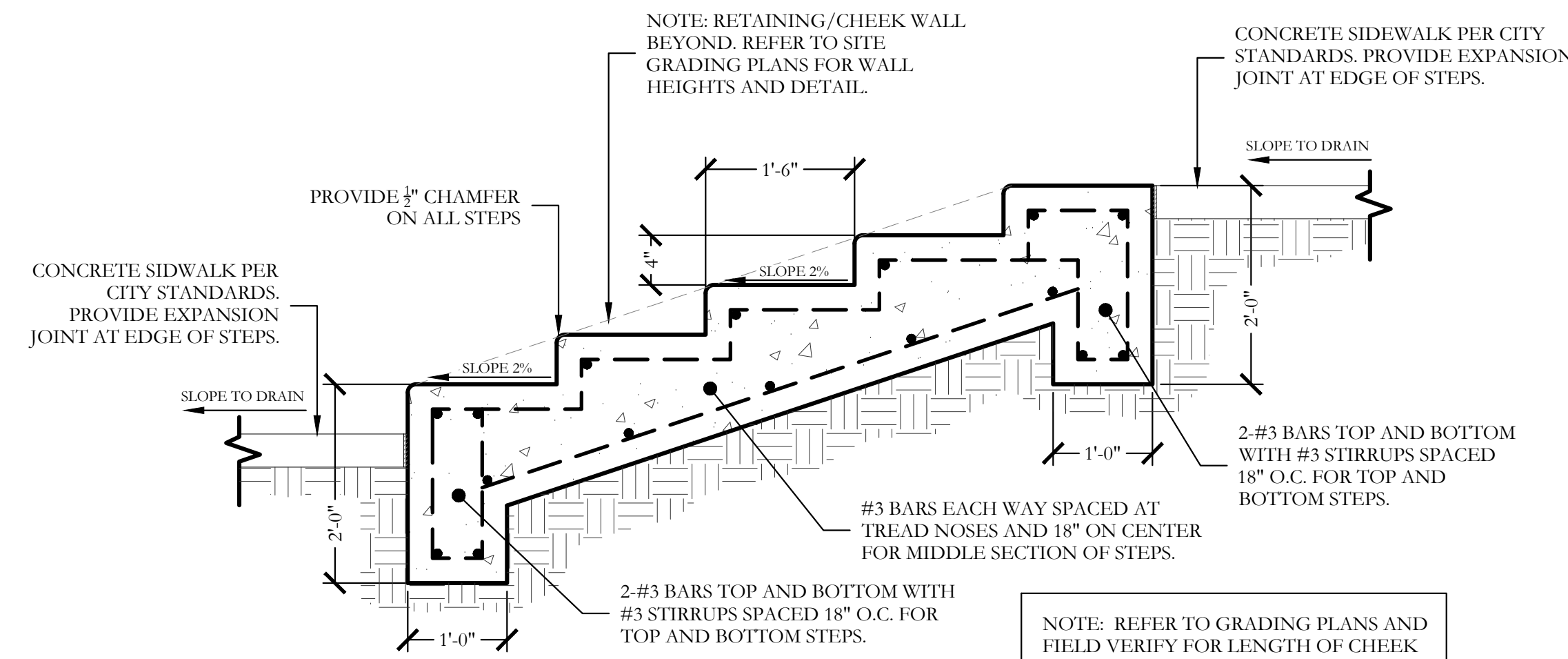
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. HARDIE BOARD MATERIAL FOR FENCE
  - 4.1. STRINGERS - HARDIE BOARD MATERIAL OR BETTER.
  - 4.2. PICKETS - HARDIE BOARD MATERIAL OR BETTER.
  - 4.3. CAPS - HARDIE BOARD MATERIAL OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL MATERIAL SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL HARDIE BOARD MEMBERS SHALL RECEIVE TWO COATS OF MARINE GRADE PAINT; FINISH AND COLOR SHALL MATCH THE BUILDING FACILITY.

**ORNAMENTAL METAL FENCE NOTES**

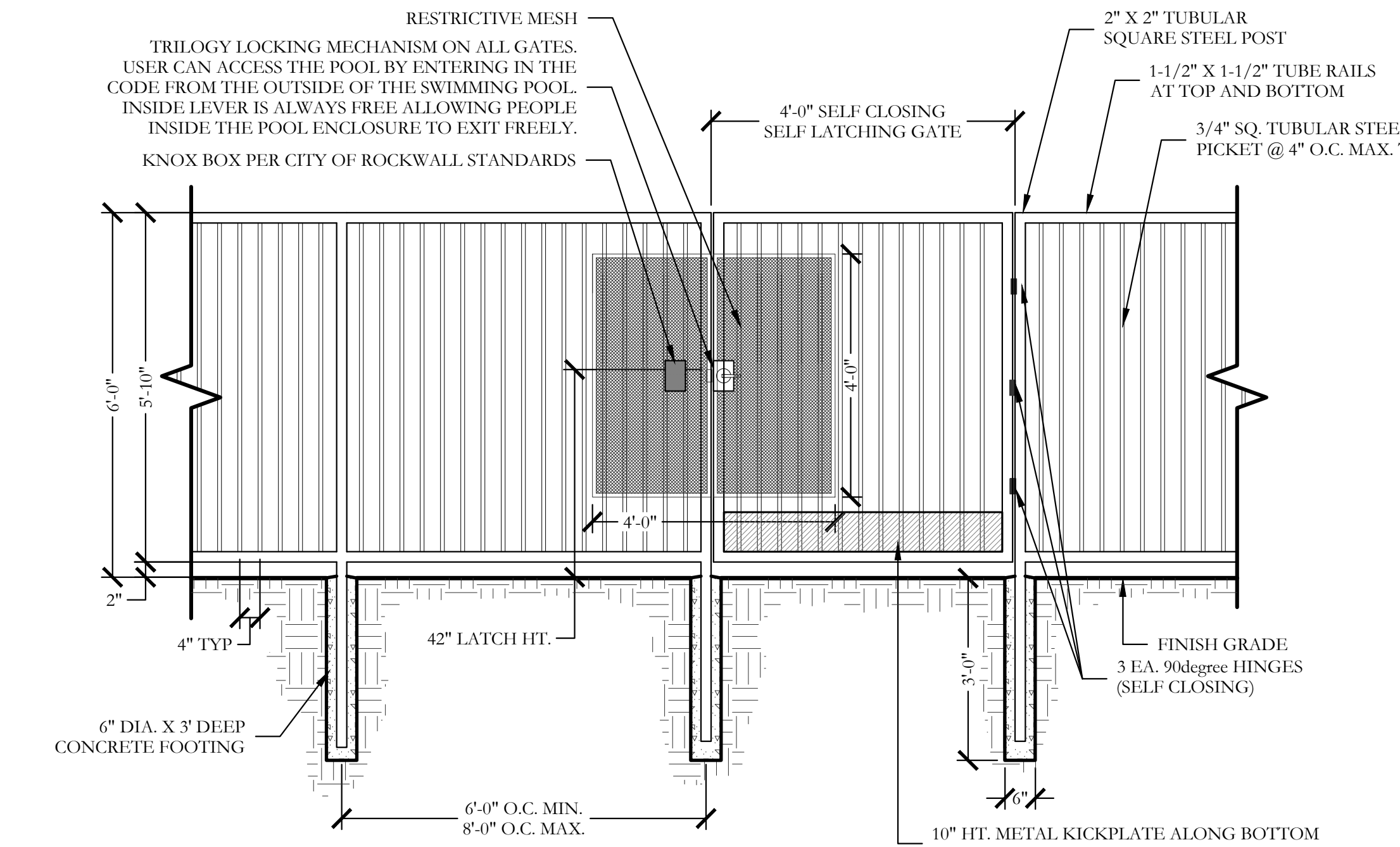
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2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBAN BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 9.1. PICKETS, 3/4" SQUARE 16 GA.
  - 9.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
  - 9.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF-CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF-LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2".



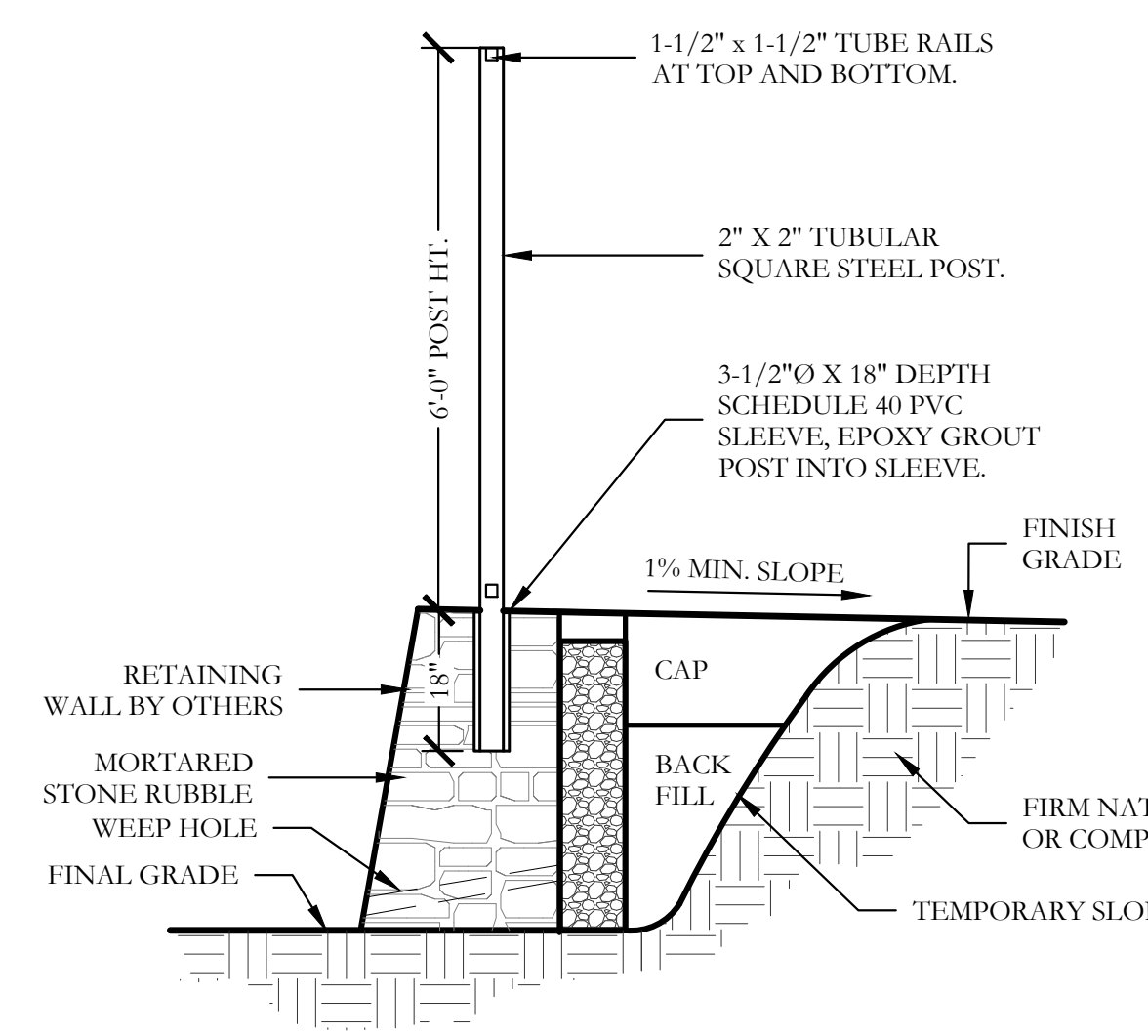
**4 6'-0" HT. HARDIE BOARD FENCE SECTION**  
SCALE: 3/4" = 1'-0"



**5 TYPICAL CONCRETE STAIR DETAIL SECTION**  
NOT TO SCALE



**6 6'-0" HT. ORNAMENTAL METAL FENCE AND GATE ELEVATION**  
SCALE: 1/2" = 1'-0"



**7 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION**  
SCALE: 1/2" = 1'-0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

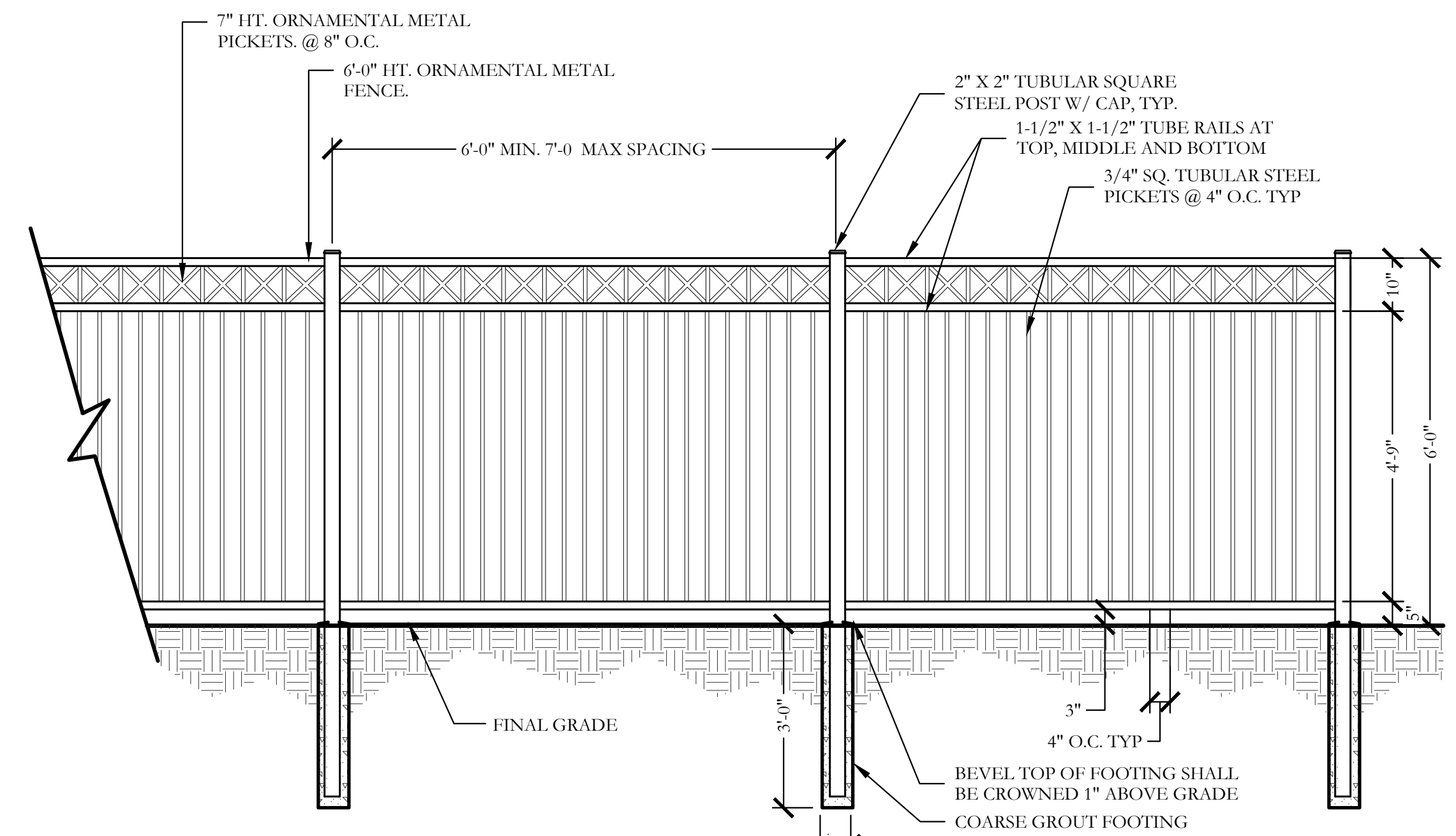




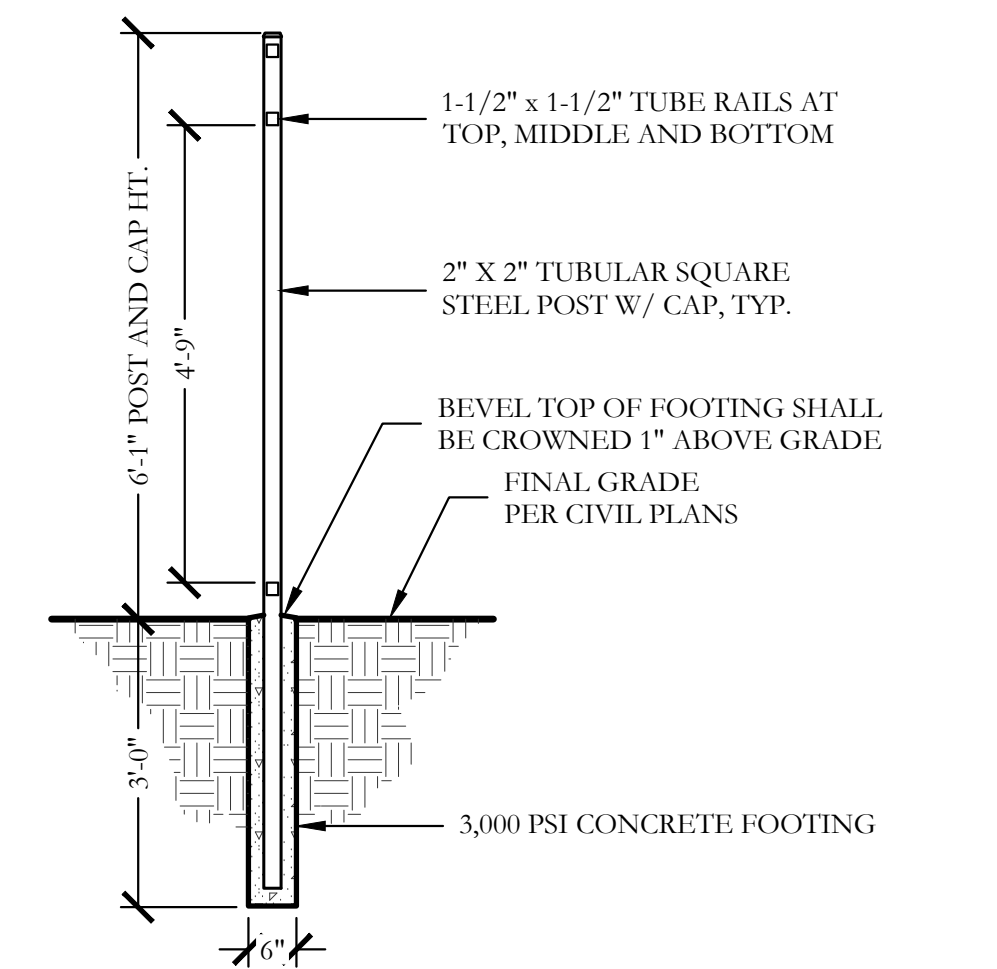


**ORNAMENTAL METAL FENCE NOTES**

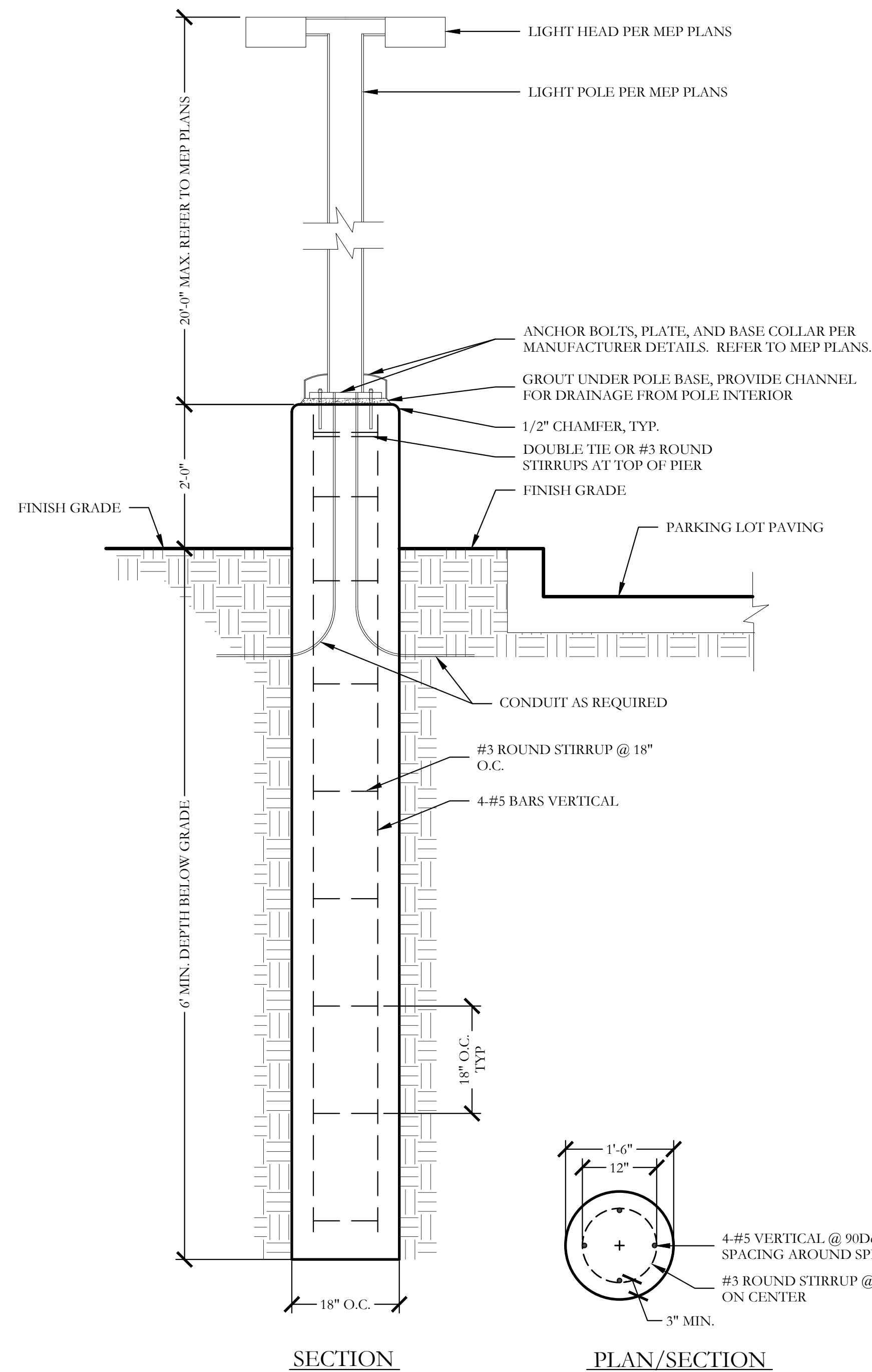
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2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
5. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
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11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
12. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
13. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



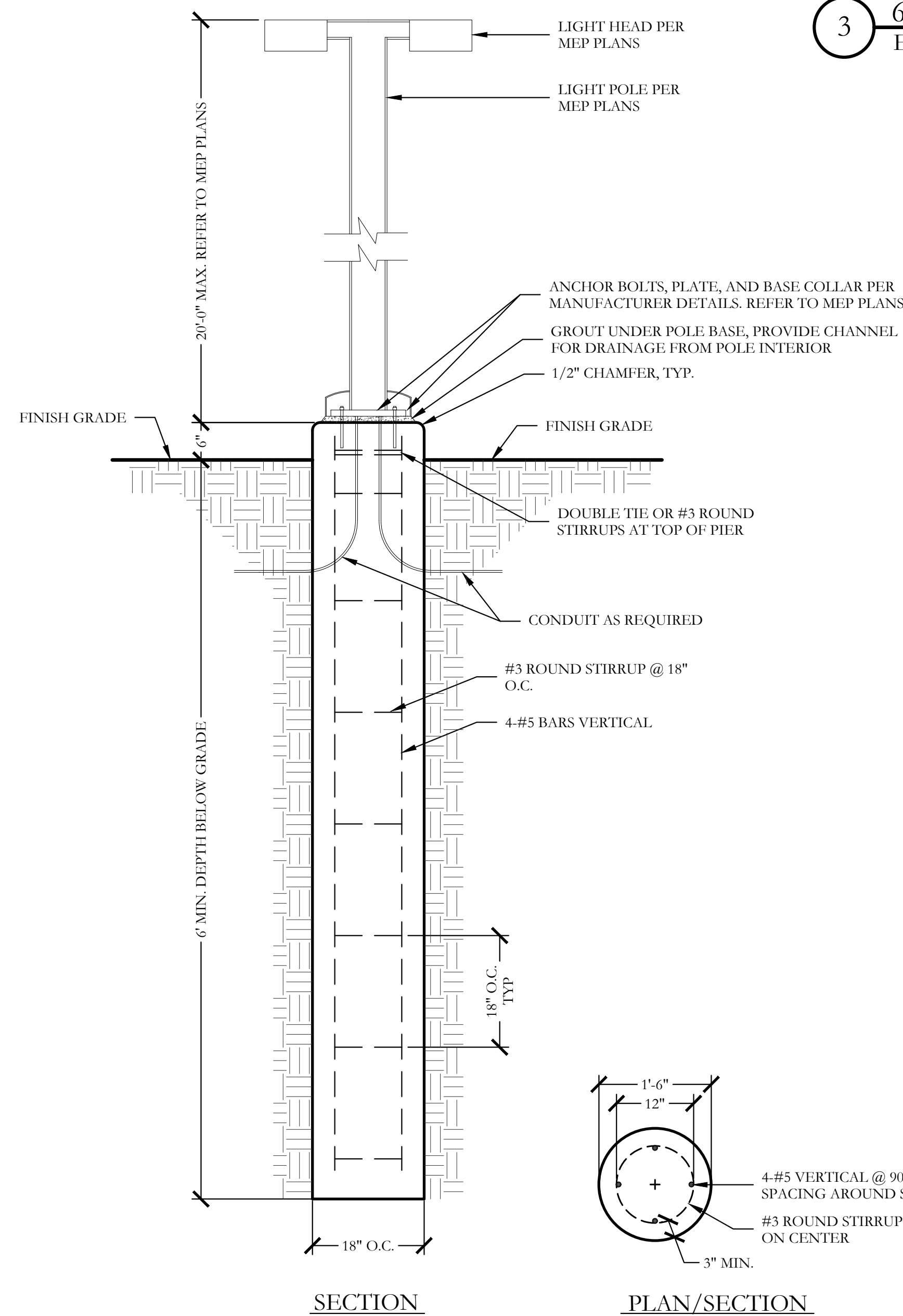
**3 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION** SCALE: 1/2"=1'-0"



**4 TYP. METAL POST FOOTING SECTION** SCALE: 1/2"=1'-0"



**1 LIGHT POLE WITHIN PARKING LOT PLAN/SECTION** SCALE: 3/4" = 1'-0"



**2 LIGHT POLE WITHIN POOL AREA PLAN/SECTION** SCALE: 3/4" = 1'-0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

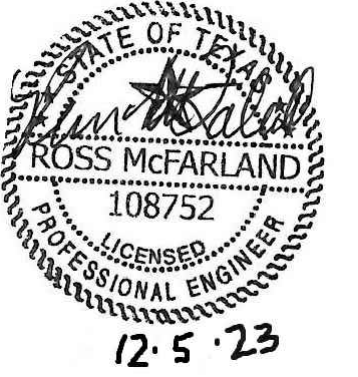
\_\_\_\_\_  
Director of Planning and Zoning



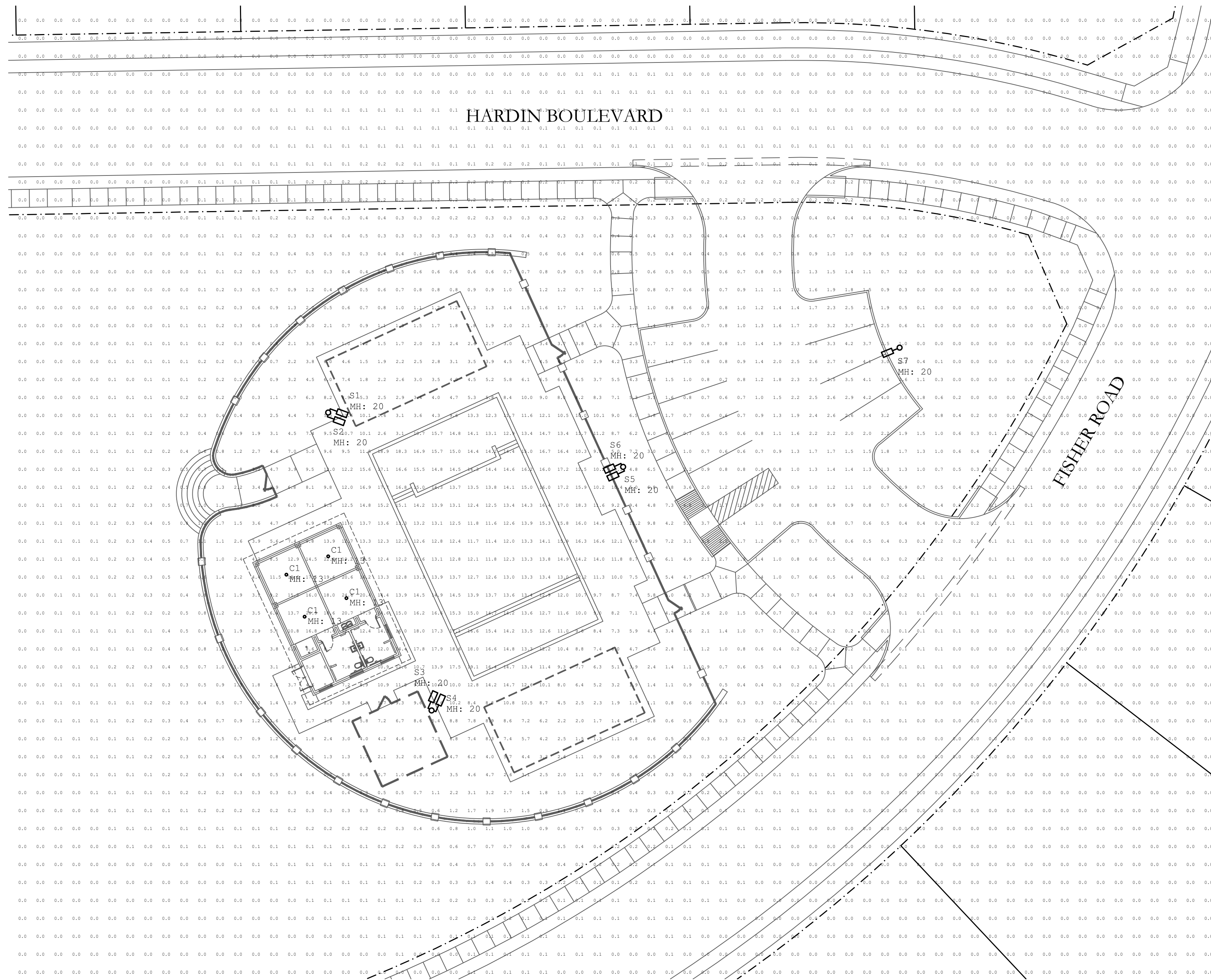
CONTRACTOR SHALL COORDINATE  
MEP DRAWINGS WITH ALL OTHER  
DISCIPLINES



Texas Registered Engineering Firm F-9218  
5020 Temyson Parkway - Plano, TX 75024  
Dallas / Fort Worth 214.432.3030  
Houston 832.532.2007



**HOMESTEAD  
AMENITY CENTER**  
ROCKWALL, TEXAS



**1 SITE PLAN - PHOTOMETRICS**  
SCALE 1" = 20'-0"

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
⊙	4	C1	SINGLE	DMP DCC DC4-(X)-D20WF-00000-40WH-(X)-R		0.900	2297	28	112	13
⊙	1	S1	SINGLE	EALS03_K4AH740 WITH ELS-EAL-FS4-BLCK- LEFT	PAIRED WITH S2	0.900	24800	239	239	20
⊙	1	S2	SINGLE	EALS03_K4AH740 WITH ELS-EAL-FS4-BLCK- LEFT	PAIRED WITH S1	0.900	24800	239	239	20
⊙	1	S3	SINGLE	EALS03_K4AH740 WITH ELS-EAL-FS4-BLCK- RIGHT	PAIRED WITH S4	0.900	24800	239	239	20
⊙	1	S4	SINGLE	EALS03_K4AH740 WITH ELS-EAL-FS4-BLCK- RIGHT	PAIRED WITH S3	0.900	24800	239	239	20
⊙	1	S5	SINGLE	EALS03_K4AH740	PAIRED WITH S6	0.900	29000	239	239	20
⊙	1	S6	SINGLE	EALS03_K4AH740	PAIRED WITH S5	0.900	29000	239	239	20
⊙	1	S7	SINGLE	EALS03_D4AF740 -ELS-EAL-RBL-BLCK		0.900	8900	70	70	20

Issue: 11/10/2023  
Revisions:

Drawing Title:  
**PHOTOMETRIC -  
SITE PLAN**

Sheet  
**E1.00**

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

AOS JOB #: 424-001-23



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Matt Wavering; *Rockwall Economic Development Corporation (REDC)*  
**CASE NUMBER:** Z2023-052; *Specific Use Permit (SUP) for La Jolla Pointe Drive*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

### **BACKGROUND**

The subject property was annexed by the City Council on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District. On November 17, 2003, the City Council approved a final plat [Case No. P2003-024] that establish the subject property as Lot 1, Block A, La Jolla Pointe, Phase 2 Addition. On February 7, 2005 the City Council approved a replat [Case No. P2004-068] that reestablished the subject property as a Lots 4-6, Block A, La Jolla Pointe, Phase 2 Addition. On August 21, 2006, the City Council approved another replat [Case No. P2006-019] that change the subject property to Lots 6, 7, and a portion of Lot 8, Block A, La Jolla Pointe, Phase 2 Addition. On April 2, 2018, the City Council approved a Specific Use Permit (SUP) [Ordinance No. 18-20; S-187] allowing a *Limited Service Hotel* on a portion of the subject property. This Specific Use Permit (SUP) expired on October 1, 2020. On August 20, 2018 the City Council approved two (2) site plans [Case No. SP2018-024 & SP2018-025] to allow the construction of an *Office Building* and a *Medical Office Building* on the subject property. These site plans expired on August 20, 2020. On October 1, 2018 the City Council approved a site plan [Case No. SP2018-023] to allow the construction of a *Hotel*. This site plan expired on October 1, 2020. On March 2, 2020, the City Council approved a replat [Case No. P2020-009] that reestablished the subject property as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition. The property has remained vacant since the time of annexation.

### **PURPOSE**

On November 13, 2023, the applicant -- *Matt Wavering of the Rockwall Economic Development Corporation (REDC)* -- submitted an application requesting a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in height on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 3 of the Turtle Cove



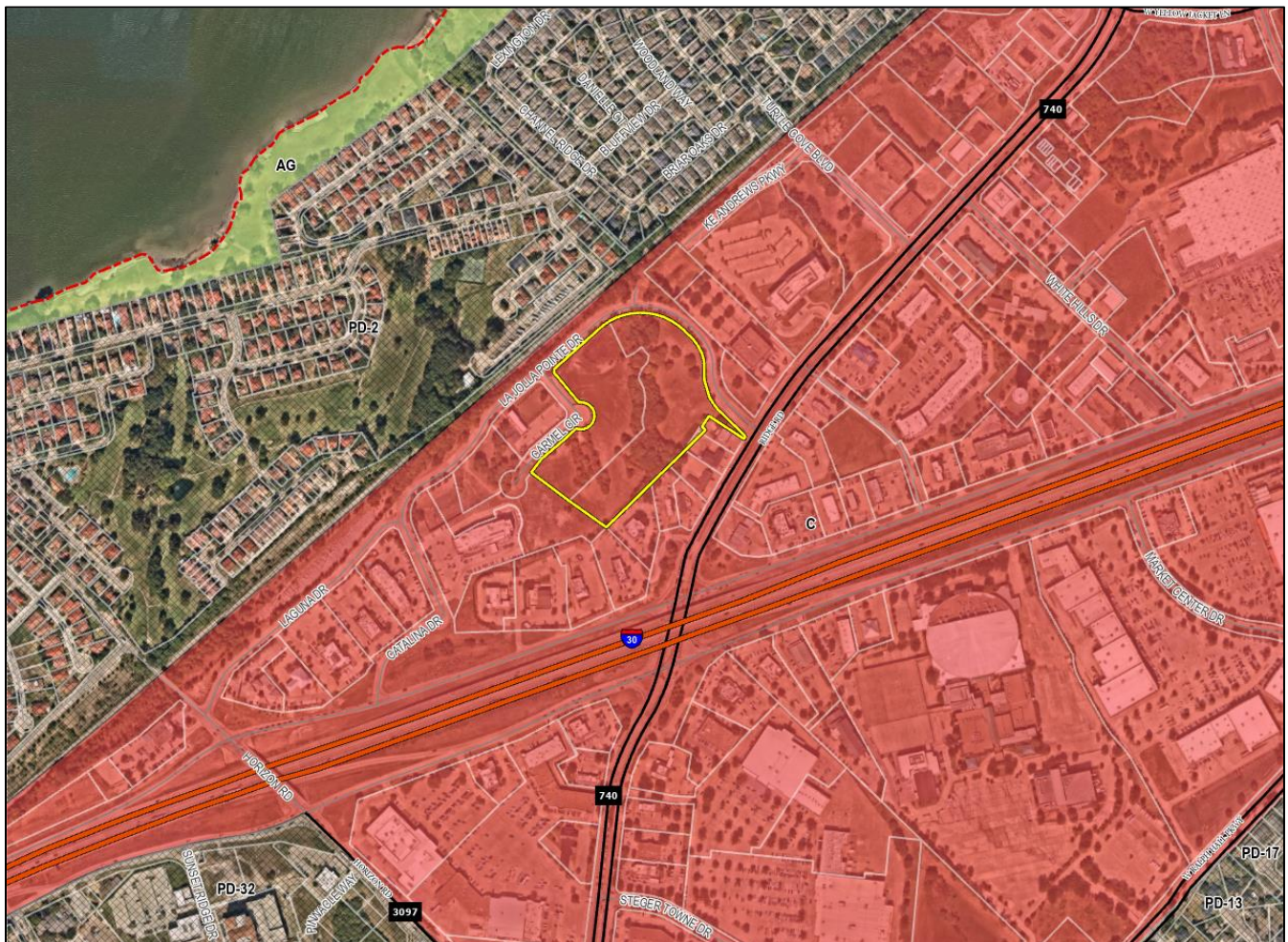
Subdivision, which consists of 102 single-family residential lots. This subdivision was established on April 11, 2000 and is zoned Planned Development District 2 (PD2) for single-family residential land uses.

South: Directly south of the subject property are several parcels developed with restaurants (*i.e. Steak N Shake, IHOP, Waffle House, Velvet Taco, and Snuffers*) that are zoned Commercial (C) District. Beyond this is the westbound frontage road of IH-30, followed by the main lanes of IH-30, and the eastbound frontage road for IH-30.

East: Directly east of the subject property are three (3) parcels of land developed with *Office Buildings (i.e. Ebby Halliday, Allstate, Epstein & Kolacz)* and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are several parcels of land developed with commercial/retail land uses that are zoned Commercial (C) District.

West: Directly west of the subject property is the intersection of Carmel Circle and La Jolla Pointe Drive. Carmel Circle is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) and La Jolla Pointe Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Following this is Phase 3 of the Lakeside Village Subdivision, which consists of 122 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a concept plan and a conceptual building height exhibit indicating that the proposed development scheme will be multi-story *Office Buildings*. Based on the conceptual building height exhibit, the intent of the requested Specific Use Permit (SUP) is to develop the subject property with *Office Buildings* that exceed the height requirement of 36-feet stipulated by the Scenic Overlay (SOV) District. According to the applicant's letter, the increased height is being requested in order to attract "high-quality employment opportunities" that are of "superior quality than the standard one or two-story garden-style office buildings." The applicant has also indicated that development of the property will be *highly selective*. Given this, the applicant is also requesting that the Specific Use Permit (SUP) remain effective for ten (10) years in lieu of the standard one (1) year per Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

## **CONFORMANCE WITH THE CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services... not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices." In this case, the proposed concept plan indicates the development of *Office Buildings* on the subject property, which is in conformance with this definition. In addition, according to Subsection 06.02, *General Overlay District Standards*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), any building over 36-feet in height requires a Specific Use Permit (SUP). This requirement prompted the applicant to submit for the proposed Specific Use Permit (SUP).

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District*. All of the property located within the *IH-30 Corridor District* is designated for the *Special Commercial (SC) Corridor* land use. The OURHometown Vision 2040 Comprehensive Plan describes the *Special Commercial (SC) Corridor* as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center*; however, the *Primary Land Uses* identified for this land use designation include *Corporate Office*. Based on this, the applicant's request is in conformance with the *Future Land Use Plan*. Staff should also note that the *IH-30 Corridor District* is divided into three (3) *Corridor Zones* (i.e. *the Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as "(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential." The subject property is currently vacant and is surrounded by single-story, single-tenant *Office Buildings* and *Restaurants*. Based on this, the proposed future development would appear to maximize the subject property's tax potential and conform to the *IH-30 Corridor Plan* contained in Appendix 'B', *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan.

According to the *Vision Statement* within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, "(t)he City of Rockwall should continue to build a diversified local economy by attracting and retaining businesses that can utilize the City's existing highly skilled workforce and aid in the creation of a stable and resilient tax base." In this case, the applicant's letter states that they intend to attract *Class-A* corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall." Given this, the applicant's request appears to conform to goals and policies laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

## **STAFF ANALYSIS**

In this case, the proposed concept plan and conceptual building height exhibit appear to conform with all of the density and dimensional requirements for a property in a Commercial (C) District, with the exception of maximum height requirement. The applicant's proposal also appears to conform with the intent of the OURHometown Vision 2040 Comprehensive Plan. Staff has included provisions in the Specific Use Permit (SUP) ordinance that will require general conformance with the concept plan at the time of site plan approval, and that the proposed buildings cannot exceed 120-feet as depicted in the conceptual building height exhibit. At the request of the applicant, staff has also included a ten (10) year term for the Specific Use Permit (SUP). This appears to be warranted due to the scale of the proposed development and the amount of time that may be necessary for

the Rockwall Economic Development Corporation (REDC) to attract high-quality corporate office users. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On November 15, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Association (HOA), which are the only Homeowners' Associations (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received two (2) notices in opposition and one (1) notice in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an Office Building that exceeds 36-feet in height on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
  - (b) Buildings on the Subject Property shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in Exhibit 'C' of this ordinance.
  - (c) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, Procedures for Zoning Applications, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 22 BLOCK A

GENERAL LOCATION Corner of La Jolla Pointe Drive & Carmel Circle

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 4.2837

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 36 Wagon Road, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Paul Liechty

CONTACT PERSON Matt Wavering

ADDRESS 502 Terry Lane

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Heath, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Liechty, Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

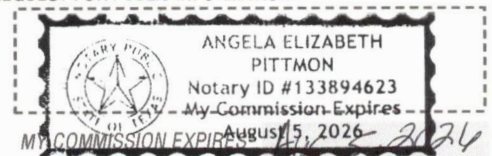
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$264.26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

*Paul Liechty*  
*Angela Elizabeth Pittmon*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
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- PLAT REINSTATEMENT REQUEST (\$100.00)

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### ZONING APPLICATION FEES:

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### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 23

BLOCK A

GENERAL LOCATION La Jolla Pointe Drive, west of Ridge Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 5.6569

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Akshar 10, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Shailesh Vora

CONTACT PERSON Matt Wavering

ADDRESS 2508 Sam School Road

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Southlake, TX 76092

CITY, STATE & ZIP Rockwall, TX 75032

PHONE \_\_\_\_\_

PHONE 972-772-0025

E-MAIL scvora@sbcglobal.net

E-MAIL mwavering@rockwalledc.com

## NOTARY VERIFICATION [REQUIRED]

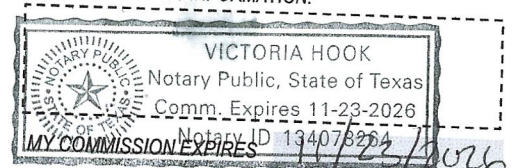
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shailesh VORA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$284.85 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

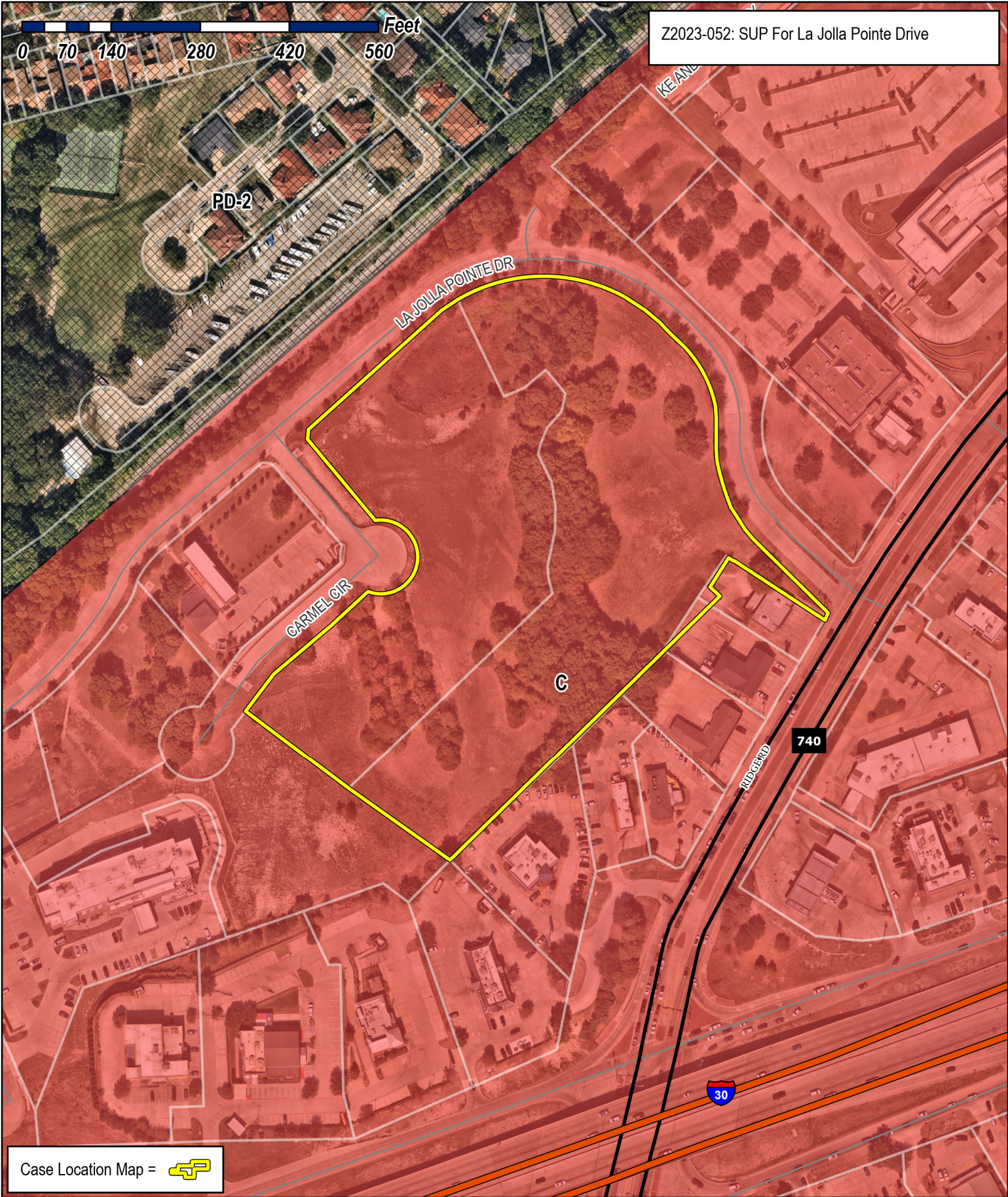
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF November, 2023

OWNER'S SIGNATURE \_\_\_\_\_


\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Z2023-052: SUP For La Jolla Pointe Drive

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



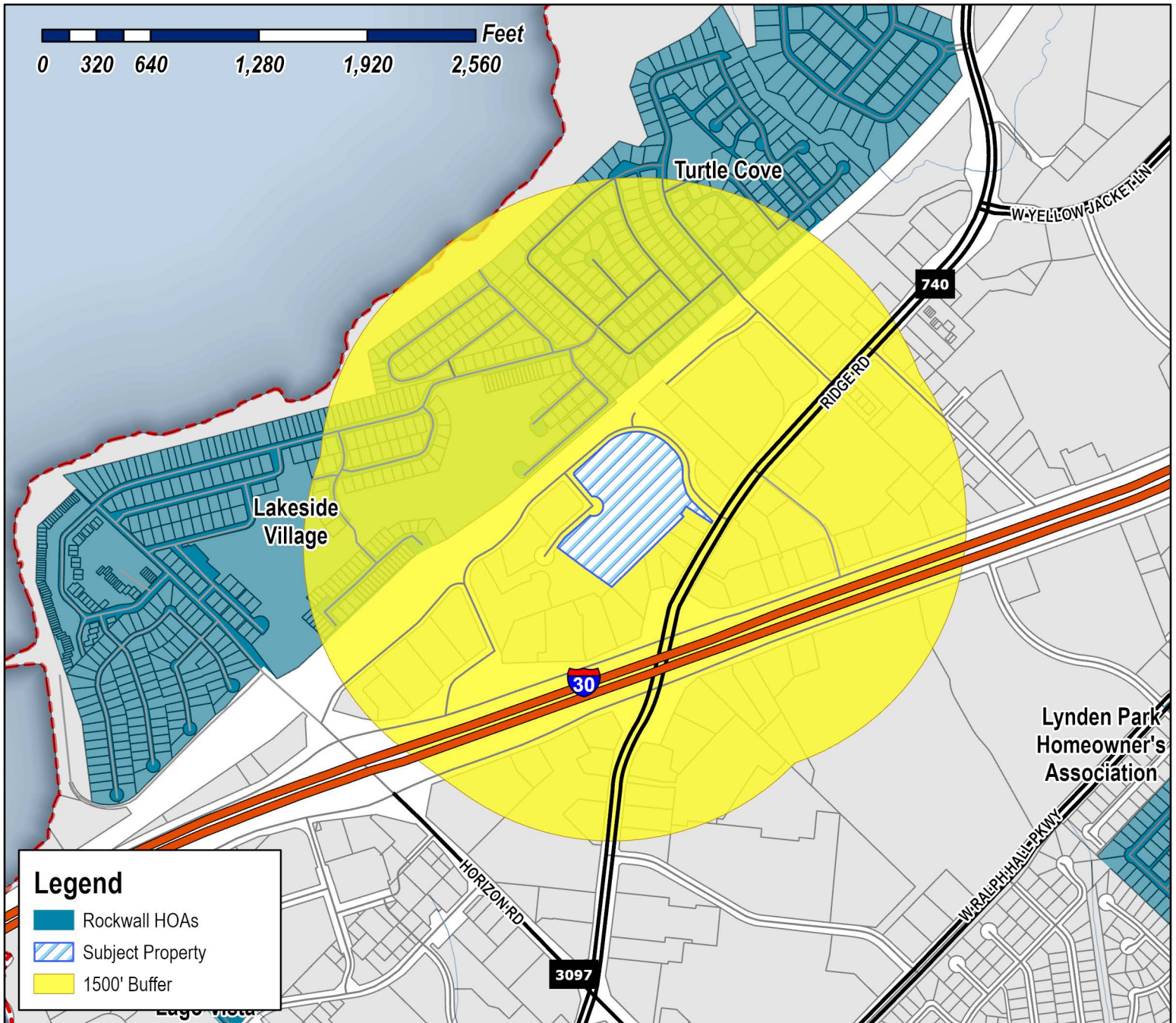
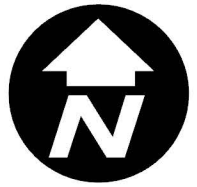




# City of Rockwall

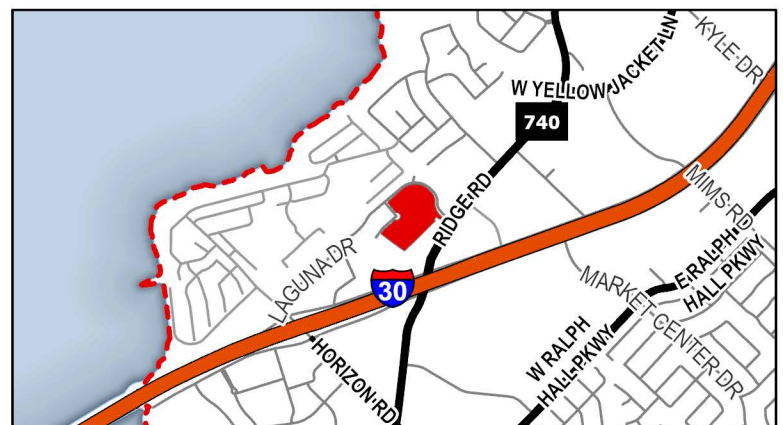
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**Case Number:** Z2023-052  
**Case Name:** SUP for La Jolla Pointe Drive  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** La Jolla Pointe Drive

**Date Saved:** 11/13/2023  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Thursday, November 16, 2023 3:19 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-052]  
**Attachments:** Public Notice (P&Z) (11.15.2023).pdf; HOA Notification Map (11.13.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 17, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-052: SUP for La Jolla Pointe Drive**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a *Specific Use Permit (SUP)* for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [*FM-740*], and take any action necessary.

Thank You,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568

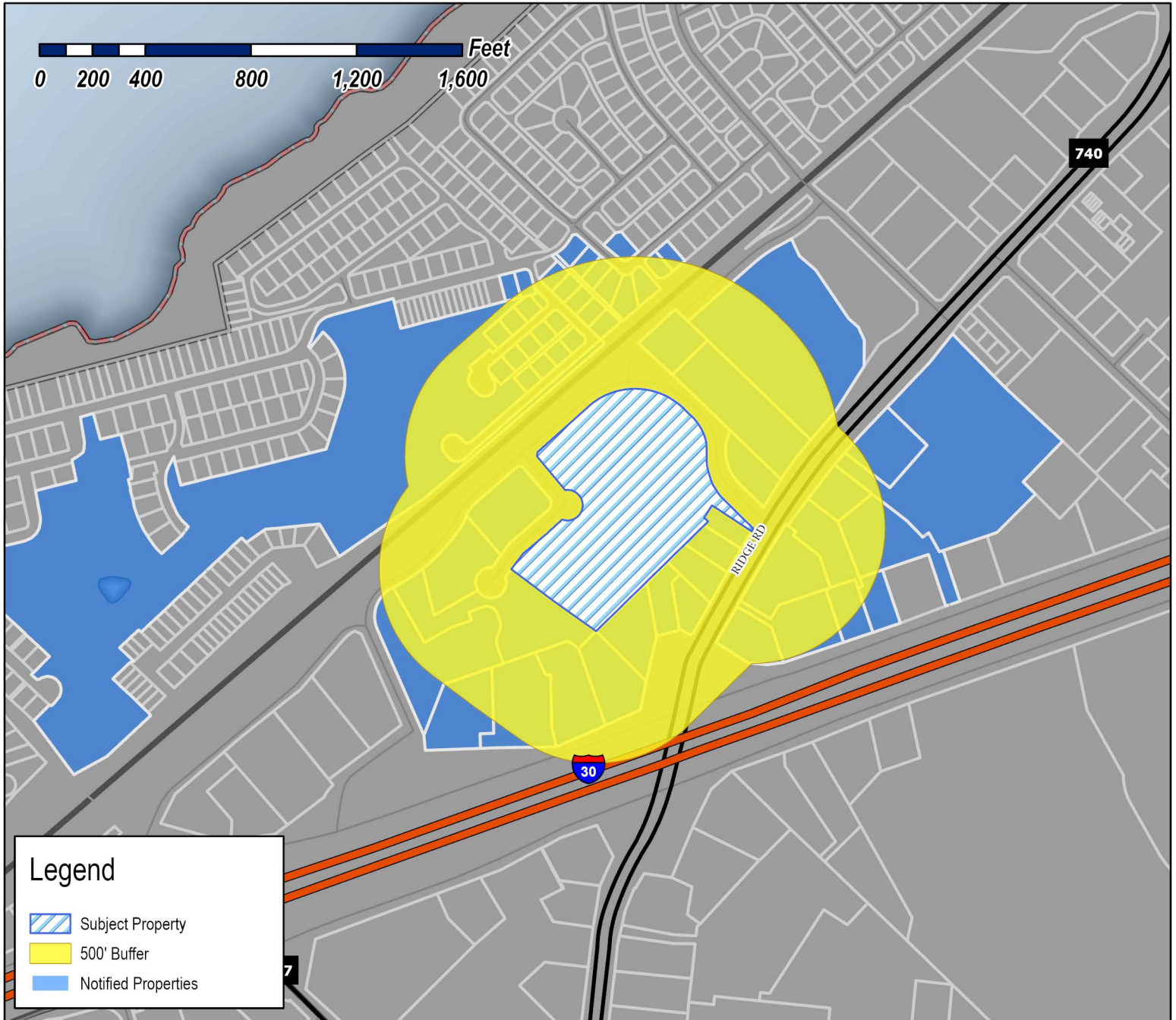




# City of Rockwall

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**Case Number:** Z2023-052  
**Case Name:** SUP for La Jolla Pointe Drive  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** La Jolla Pointe Drive



**Date Saved:** 11/13/2023

For Questions on this Case Call: (972) 771-7746

SPARKS TANA J  
1000 SPARKS DR  
FATE, TX 75087

SHIPMAN FIRE GROUP INC  
1020 LA JOLLA POINTE DRIVE  
ROCKWALL, TX 75087

TURTLE COVE RESIDENTIAL ASSOC INC  
C/O NEIGHBORHOOD MANAGEMENT  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

STEAK N SHAKE OPERATIONS, INC  
C/O THE STEAK N SHAKE COMPANY  
107 S PENNSYLVANIA ST SUITE 400  
INDIANAPOLIS, IN 46204

TOLKACHJOV HOLDINGS ROCKWALL LLC  
1105 LADY DE VANCE LN  
LEWISVILLE, TX 75056

BOLD LLC  
121 WYLER DR  
DAKOTA, IL 61018

RESIDENT  
1600 LA JOLLA POINTE DR  
ROCKWALL, TX 75087

TRITON I-30 ROCKWALL LLC  
1845 WOODALL ROGERS FREEWAY, SUITE 1100  
DALLAS, TX 75201

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

2424 MTA REALTY LLC  
2424 RIDGE ROAD  
ROCKWALL, TX 75087

RESIDENT  
2455 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2475 RIDGE RD  
ROCKWALL, TX 75087

ESTATE OF DR RICHARD L BROOKS  
2504 RIDGE RD STE 107  
ROCKWALL, TX 75087

BROOKS RICHARD L MD  
2504 RIDGE RD STE 101  
ROCKWALL, TX 75087

AKSHAR 10 LLC  
2508 SAM SCHOOL ROAD  
SOUTHLAKE, TX 76092

RESIDENT  
2510 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2535 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2545 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2555 RIDGE RD  
ROCKWALL, TX 75087

BELAC PROPERTIES LLC  
2600 RIDGE RD STE 102  
ROCKWALL, TX 75087

BROOKS TIM  
2602 RIDGE ROAD SUITE 1  
ROCKWALL, TX 75087

RESIDENT  
2604 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2608 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2610 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2616 RIDGE RD  
ROCKWALL, TX 75087

2455 RIDGE LLC  
2701 CUSTER PARKWAY SUITE 706  
RICHARDSON, TX 75080

HALL JUSTIN KIMBELL  
2902 PRESTON TRAIL  
ROCKWALL, TX 75087

MARLEY KELLE AND CLAYTON D  
2904 PRESTON TRAIL  
ROCKWALL, TX 75087

DUCHARME JASON  
2906 PRESTON TRAIL  
ROCKWALL, TX 75087

LEE GREGORY P AND LAUREN W  
2908 PRESTON TRAIL  
ROCKWALL, TX 75087

KESTER SEAN AND MISTI  
2910 PRESTON TRAIL  
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K  
3001 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3002 PRESTON TR  
ROCKWALL, TX 75087

TURNER CECE  
3002 PRESTON CT  
ROCKWALL, TX 75087

SANCHEZ ENEIDA  
3003 LAKESIDE DR  
ROCKWALL, TX 75087

ROGERS GENTRY  
3003 PRESTON COURT  
ROCKWALL, TX 75087

RESIDENT  
3004 PRESTON TR  
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER  
3004 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3005 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3006 PRESTON TR  
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A  
3006 PRESTON COURT  
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY  
3007 LAKESIDE DR  
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T  
3007 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3008 PRESTON TR  
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY  
3009 PRESTON CT  
ROCKWALL, TX 75087

GANCI GLENN  
305 DREW LN  
HEATH, TX 75032

LOTL HOLDINGS LLC  
320 PORTVIEW PLACE  
ROCKWALL, TX 75032

RESIDENT  
4100 VILLAGE DR  
ROCKWALL, TX 75087

ROBERTS JAMES F  
4112 VILLAGE DR  
ROCKWALL, TX 75087

QSR 30 LAND LLC  
4515 LBJ FREEWAY  
DALLAS, TX 75224

CBAX PROPERTIES LLC  
465 W PRESIDENT GEORGE BUSH HWY  
RICHARDSON, TX 75080

36 WAGON ROAD, LLC  
502 TERRY LANE  
HEATH, TX 75032

36 WAGON ROAD, LLC  
502 TERRY LANE  
HEATH, TX 75032

RESIDENT  
550 LA JOLLA DR  
ROCKWALL, TX 75087

RESIDENT  
550 VIGOR WAY  
ROCKWALL, TX 75087

RESIDENT  
550 E I30  
ROCKWALL, TX 75087

RESIDENT  
560 E I30  
ROCKWALL, TX 75087

RESIDENT  
568 E I30  
ROCKWALL, TX 75087

RESIDENT  
578 E I30  
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION  
600 E I-30  
ROCKWALL, TX 75087



RESIDENT  
610 I30  
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD  
6176 FM 2011  
LONGVIEW, TX 75603

ROCKWALL INNKEEPERS I LTD  
6176 FM 2011  
LONGVIEW, TX 75603

RESIDENT  
630 I 30  
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D  
641 CHANNEL RIDGE DR  
ROCKWALL, TX 75087

COGDELL CHELSEA ANNE  
645 CHANNEL RIDGE DRIVE  
ROCKWALL, TX 75087

SVRCEK JOSEPH T  
649 CHANNEL RIDGE DR  
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC  
650 E INTERSTATE 30  
ROCKWALL, TX 75087

MCCOY RAYMOND & BELVA  
653 CHANNEL RIDGE DR  
ROCKWALL, TX 75087

RESIDENT  
657 CHANNEL RIDGE DR  
ROCKWALL, TX 75087

ALLEN TEXAS WHITE TIGER CORPORATION  
853 BEAR CROSSING DRIVE  
ALLEN, TX 75013

MCDONALDS CORP (398/42)  
C/O KEVA CHILDRESS  
935 W RALPH HALL PKWY #101  
ROCKWALL, TX 75032

SANDERS JOLINDA  
950 BRIAR OAKS DRIVE  
ROCKWALL, TX 75087

FIELDS TODD H AND NANCY E  
954 BRIAR OAKS DR  
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A  
955 BRIAR OAK DR  
ROCKWALL, TX 75087

WILLIAMS KYLIE J  
958 BRIAR OAK DR  
ROCKWALL, TX 75087

JAGH HOSPITALITY LP  
996 E I-30  
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP  
AND  
SHERRI LANE HEWETT AND SUSAN LYNNE  
HEWETT LUCAS  
C/O IHOP ATTN HAKIM REMA P. O. BOX 12168  
DALLAS, TX 75225

LAKESIDE VILLAGE HOMEOWNERS  
P.O. BOX 650255  
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS  
P.O. BOX 650255  
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS  
P.O. BOX 650255  
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC  
P.O. BOX 650255  
DALLAS, TX 75265

B&M ALPHA INC  
PO BOX 171754  
ARLINGTON, TX 76003

ROCKWALL II PROPERTIES LLC  
PO BOX 630768  
HOUSTON, TX 77263

WAFFLE HOUSE INC  
ATTN: TAX DEPT  
PO BOX 6450  
NORCROSS, GA 30091

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-052: SUP for La Jolla Pointe Drive**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-052: SUP for La Jolla Pointe Drive**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



November 13, 2023

Ryan Miller  
Director of Planning  
City of Rockwall  
385 S. Goliad Street,  
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt Wavering". The signature is fluid and cursive, with a large loop at the end.

Matt Wavering  
Vice President

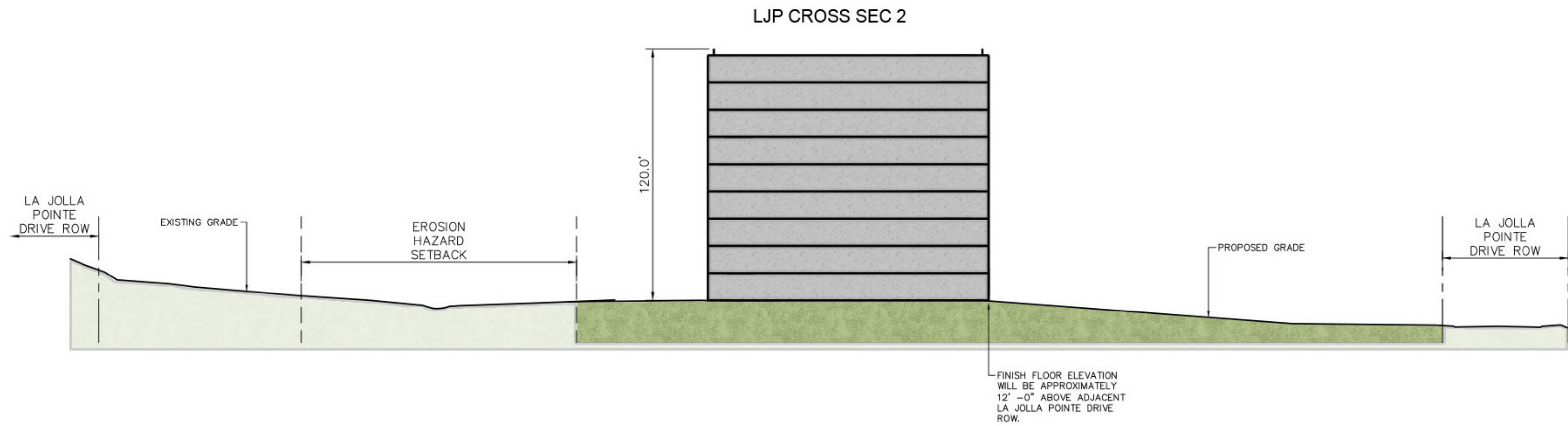
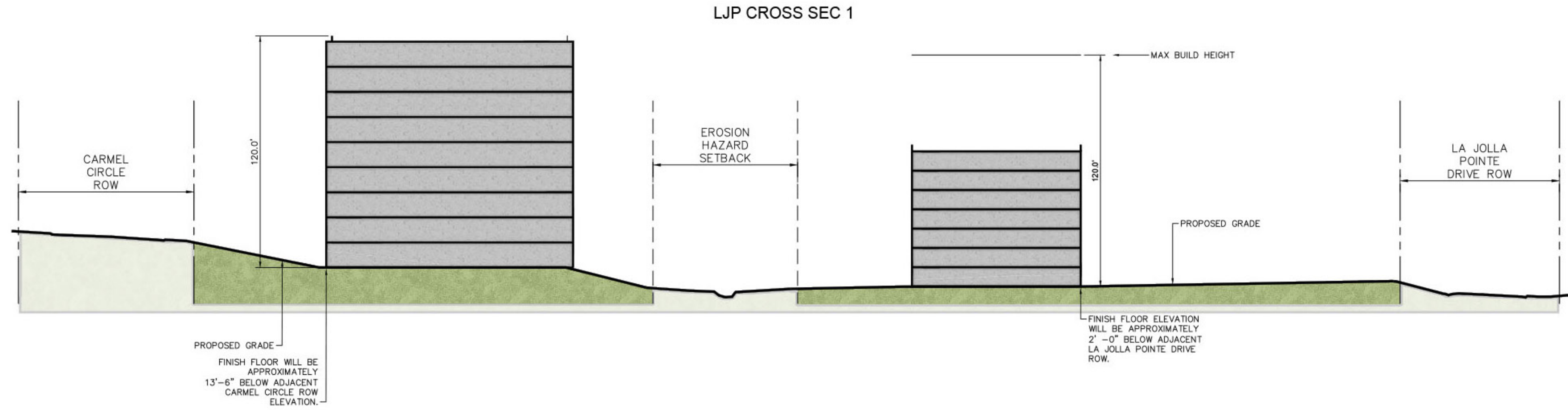


# CONCEPT SITE PLAN





# CONCEPT SITE SECTION







**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**RECORD PROPERTY DESCRIPTION**

**"TRACT 1"**

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

**"TRACT 2"**

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

**NOTES ADDRESSING SCHEDULE B EXCEPTIONS:**

**AS TO "TRACT 1" DESCRIBED ABOVE:**

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF, No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
  - a) Detention Pond Easement as shown hereon;
  - b) 20' Drainage and Retaining Wall Easement as shown hereon;
  - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

**AS TO "TRACT 2" DESCRIBED ABOVE:**

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF, No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

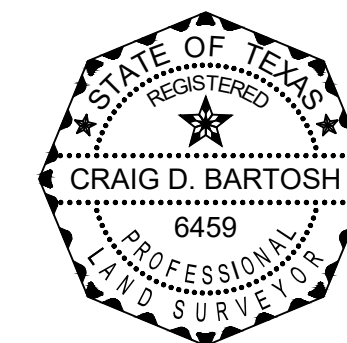
- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
  - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

**SURVEYORS CERTIFICATION:**

To: ROUND ROCK LAND COMPANY LLC;  
AKSHA 10, LLC;  
36 WAGON ROAD, LLC;  
FIDELITY NATIONAL TITLE INSURANCE COMPANY;  
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;  
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;  
FIRST AMERICAN TITLE INSURANCE COMPANY;  
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date  
Craig D. Bartosh  
Registered Professional Land Surveyor No. 6459  
Kimley-Horn and Associates, Inc.  
13455 Noel Road  
Two Galleria Office Tower, Suite 700  
Dallas, Texas 75240  
Ph. (972) 770-1300  
craig.bartosh@kimley-horn.com



**ALTA/NSPS LAND TITLE SURVEY**  
TRACT 1 - 5.6569 ACRES  
TRACT 2 - 4.2837 ACRES  
WILLIAM BLEVINS SURVEY,  
ABSTRACT NO. 9  
JAMES SMITH SURVEY,  
ABSTRACT NO. 200  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

**Kimley»Horn**

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *BUILDINGS THAT EXCEED 36-FEET IN HEIGHT* ON A 9.9406-ACRE TRACT OF LAND IDENTIFIED AS LOTS 22 & 23, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*; and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --



and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Buildings that Exceed 36-Feet in Height* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
- 3) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the

adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF JANUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: December 18, 2023

2<sup>nd</sup> Reading: January 2, 2024







**Exhibit 'C'**  
**Conceptual Building Heights**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Matt Wavering; *Rockwall Economic Development Corporation (REDC)*  
**CASE NUMBER:** Z2023-053; *Amendment to Planned Development District 4 (PD-4)*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Richard Chandler of HFS Management, Inc. for the approval of a Zoning Change amending Planned Development District 4 (PD-4) [*Ordinance No. 72-03 & 01-26*] being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [*FM-740*], and take any action necessary.

### BACKGROUND

The City Council approved *Ordinance No. 60-02 [Case No. A1960-002]*, annexing the subject property into the City of Rockwall on September 5, 1960. On January 27, 1972, the City Council approved Planned Development District 4 (PD-4) [*Ordinance No. 72-03*] allowing Neighborhood Services (NS) District and General Retail (GR) District land uses. In addition, the Planned Development District allowed *Shopping Center* land uses on the subject property. On June 18, 2001, the City Council approved a City initiated amendment to Planned Development District 4 (PD-4) [*Case No. PZ2001-053-01*] removing Neighborhood Services (NS) District land uses from the base zoning. This changed the Planned Development District to only allow General Retail (GR) District land uses. The subject property has remained vacant since the time of annexation.

### PURPOSE

On November 13, 2023, the applicant -- *Matt Wavering of the Rockwall Economic Development Corporation (REDC)* -- submitted an application requesting a Zoning Change to amend Planned Development District 4 (PD-4) to facilitate the development of multi-story *Office Buildings* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located between Lakedale Drive and Becky Lane on the eastside of Ridge Road [*FM-740*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a mixed-use development consisting of 202 urban residential units and several office/retail land uses. This property is better known as Rockwall Commons, and is zoned Planned Development District 1 (PD-1) for General Retail (GR) District and Multi-Family 14 (MF-14) District land uses. North of this mixed-use development, is another mixed-use development consisting of 140 urban residential units and several office/retail land uses. This property is known as the Lakeview Apartments, and is zoned Planned Development District 1 (PD-1) for General Retail (GR) District land uses.

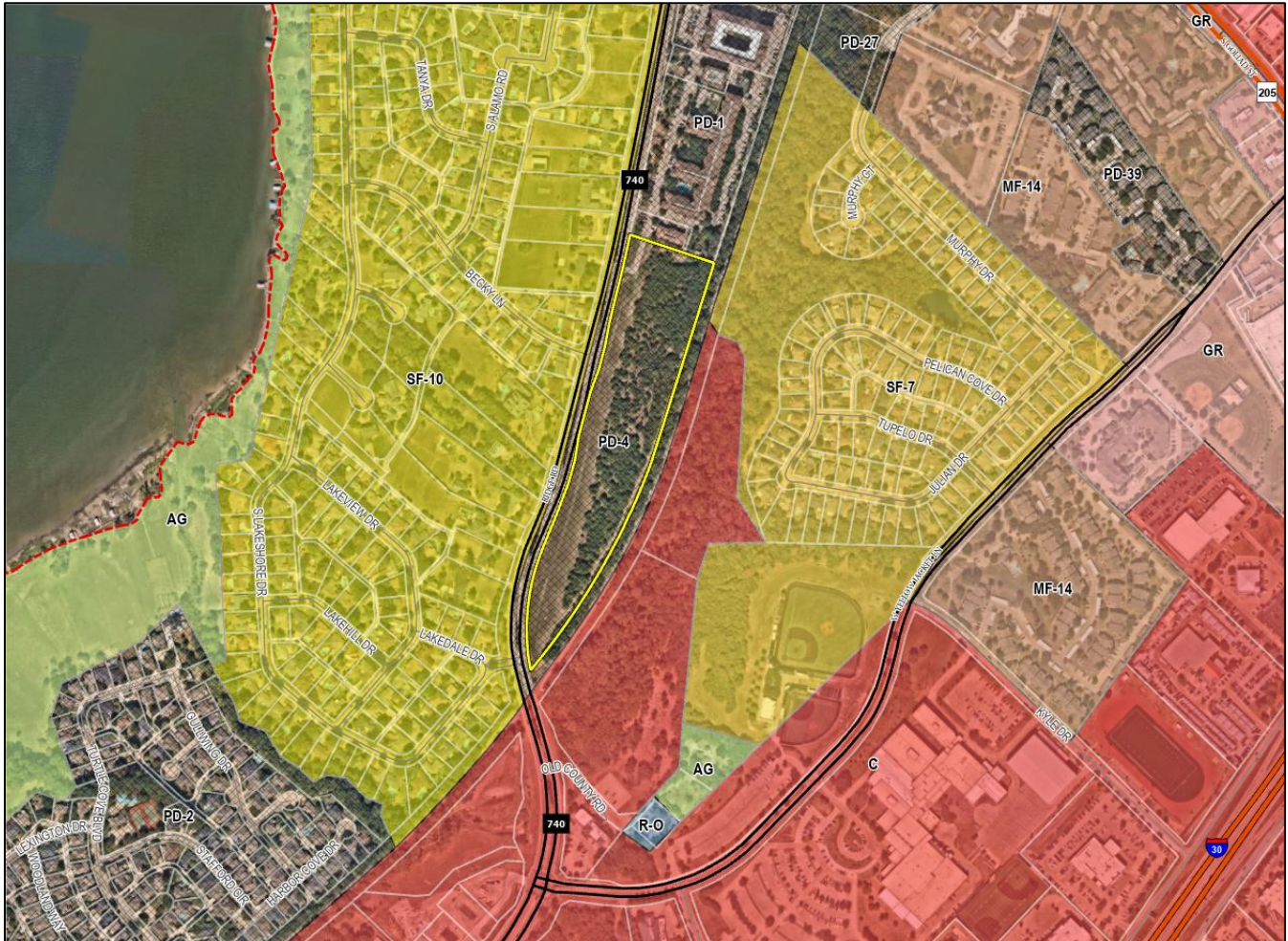
South: Directly south of the subject property is Ridge Road, which is identified as a *M4D (i.e. minor collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this thoroughfare is an 8.583-acre tract of vacant land (*i.e. Lot 1, Block A, Sky Ridge Addition*) zoned Commercial (C) District.



East: Directly east of the subject property is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this are two (2) vacant tracts of land (*i.e. Tract 9 [9.24-acres] & Tract 9-1 [7-acres]*), of the *D. Atkins Survey, Abstract No. 1*, which are situated within the 100-year floodplain and zoned Commercial (C) District. East of the two (2) vacant tracts is the *Waterstone Estates Subdivision*, which was platted on November 30, 1994 and consists of 123 single-family residential lots. This subdivision is zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is *Ridge Road [FM-740]*, which is identified as a *M4D (i.e. major collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the *OURHometown Vision 2040 Comprehensive Plan*. Continuing west are several single-family residential subdivisions (*i.e. Lake Ray Hubbard Estates [65 lots], The Estates of Coast Royal 1 [four {4} lots], The Estates of Coast Royal 2 [13 lots], and Lakeridge Park [87 lots]*), which are zoned for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a concept plan and a conceptual building height exhibit indicating that the proposed development scheme will be multi-story *Office Buildings*. Based on the concept plan and conceptual building height exhibit, the intent of the requested zoning change is to develop the subject property with *Office Buildings* that exceeds the 25,000 SF maximum building size required by the General Retail (GR) District standards, and exceed the height requirement of 36-feet stipulated by the General Retail (GR) District and the Scenic Overlay (SOV) District standards. According to the applicant's letter, the increased building size and height is being requested in order to attract "high-quality employment opportunities" that are of "superior quality than the standard one or two-story garden-style office buildings." More specifically, the applicant is requesting a maximum permissible height of 90-feet. Based on the applicant's letter this height will be in consistent with the adjacent developments along the east side of Ridge Road [FM-740] (*i.e. the Commons and Lakeview Apartments*).

## **CONFORMANCE WITH THE CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as “(a) facility that provides executive, management, administrative, or professional services... not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the proposed concept plan indicates the development of *Office Buildings* on the subject property, which is in conformance with this definition. In addition, according to Subsection 06.02, *General Overlay District Standards*, and Subsection 04.04, *General Retail (GR) District*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), buildings are limited to 25,000 SF and cannot exceed over 36-feet in height. Given that the subject property is within a Planned Development District, these requirements prompted the applicant to submit for the proposed zoning change and amend Planned Development District 4 (PD-4).

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is designated for *Commercial/Retail* land uses and is situated within the *Scenic District*. According to the *Land Use Plan*, the *Commercial/Retail* land use is “...characterized by single to multi-tenant commercial retail centers along major arterials at key intersections.” The *Land Use Plan* goes on to state that *Office* is a *Secondary Land Use* within the *Commercial/Retail* land use. That being said, the *Scenic District* description specifically states that “...vacant areas -- designated for *Commercial land uses* -- adjacent to Ridge Road [FM-740] ...” should eventually developed with office or neighborhood/convenience centers. In this case, the applicant's development scheme for *Office Buildings* [1] satisfies the *Secondary Land Use* description for *Commercial/Retail* land uses, and [2] meets the intent for vacant land development within the *Scenic District* adjacent to Ridge Road [FM-740]. Based on this, the proposed future development appears to conform to the *Future Land Use Plan* contained within the OURHometown Vision 2040 Comprehensive Plan.

According to the *Vision Statement* within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, “(t)he City of Rockwall should continue to build a diversified local economy by attracting and retaining businesses that can utilize the City's existing highly skilled workforce and aid in the creation of a stable and resilient tax base.” In this case, the applicant's letter states that they intend to attract *Class-A* corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall.” Given this, the applicant's request appears to conform to goals and policies laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

## **STAFF ANALYSIS**

In this case, the proposed concept plan and conceptual building height exhibit appear to conform with all of the density and dimensional requirements for a property in a General Retail (GR) District, with the exception of maximum building size and maximum building height requirements. The applicant's proposal also appears to conform with intent of the OURHometown Vision 2040 Comprehensive Plan. Staff has included a *Purpose Statement* within the Planned Development District ordinance that states, the purpose of the “... Planned Development District is to provide Class ‘A’ corporate offices that will be occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall.” If the applicant deviates from this stated intent, the Planned Development District ordinance provides flexibility through a PD Development Plan. In the same spirit of the *Purpose Statement*, staff has provided a list of prohibited land uses that did not appear to align with the applicant's letter or the adjacent/existing residential land uses.

In addition to the *Purpose Statement*, staff has included changes to the *Permitted Uses* and *Lot Dimensional Requirements* sections of the ordinance in order to facilitate the applicant's request in a manner that is consistent with development in the area. As discussed in the *Characteristics of the Request* and the *Conformance with the City Codes* sections of this case memo, the General Retail (GR) District does not allow buildings over 25,000 SF. Given this, the *Permitted Uses* section of the ordinance lists *Office Buildings Greater than 25,000 SF* as a permitted by-right land use. Staff also updated the *Lot Dimensional Requirements* for the ordinance to allow a maximum lot coverage of 60% (as opposed to the 40% called out in the UDC), and a floor area ratio of 4:1 (opposed to the 2:1 called out in the UDC). In addition, the following notes were included, [1] a maximum of one (1) row of parking may be located between the front façade and the property line, and [2] the front yard setback (i.e. 25-

feet) shall create a uniform building frontage along Ridge Road [FM-740]. Staff included these notes to reaffirm the requirements of the *General Overlay District Standards* contained in the Unified Development Code (UDC), and maintain a consistent frontage along the east side of Ridge Road [FM-740]. With this being said, a request for a Zoning Change is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On November 15, 2023, staff mailed 80 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone and Turtle Cove Homeowner's Association (HOA), which are the only Homeowners' Associations (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notice in opposition of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Zoning Change to amend Planned Development District 4 (PD-4), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the PD Development Standards outlined within the Planned Development District 4 (PD-4) Ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1661 Ridge Road, Rockwall, TX 75087

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION Northeast Corner of Ridge Rd & Dallas Garland N.E. Railroad

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-4

CURRENT USE vacant

PROPOSED ZONING PD-4 (amended)

PROPOSED USE office

ACREAGE 12.1462

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HFS Management, Inc

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Richard Chandler

CONTACT PERSON Matt Wavering

ADDRESS 122 W. John Carpenter Fwy, Ste 400

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Irving, TX 75039

CITY, STATE & ZIP Rockwall, TX 75032

PHONE \_\_\_\_\_

PHONE 972-772-0025

E-MAIL rchandler@sei-mi.com

E-MAIL mwavering@rockwalledc.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Richard P. Chandler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$382.19 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

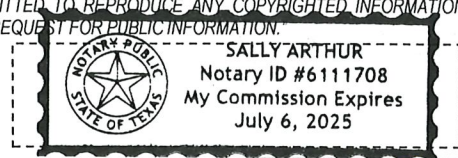
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF November, 2023.

OWNER'S SIGNATURE

Richard P. Chandler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

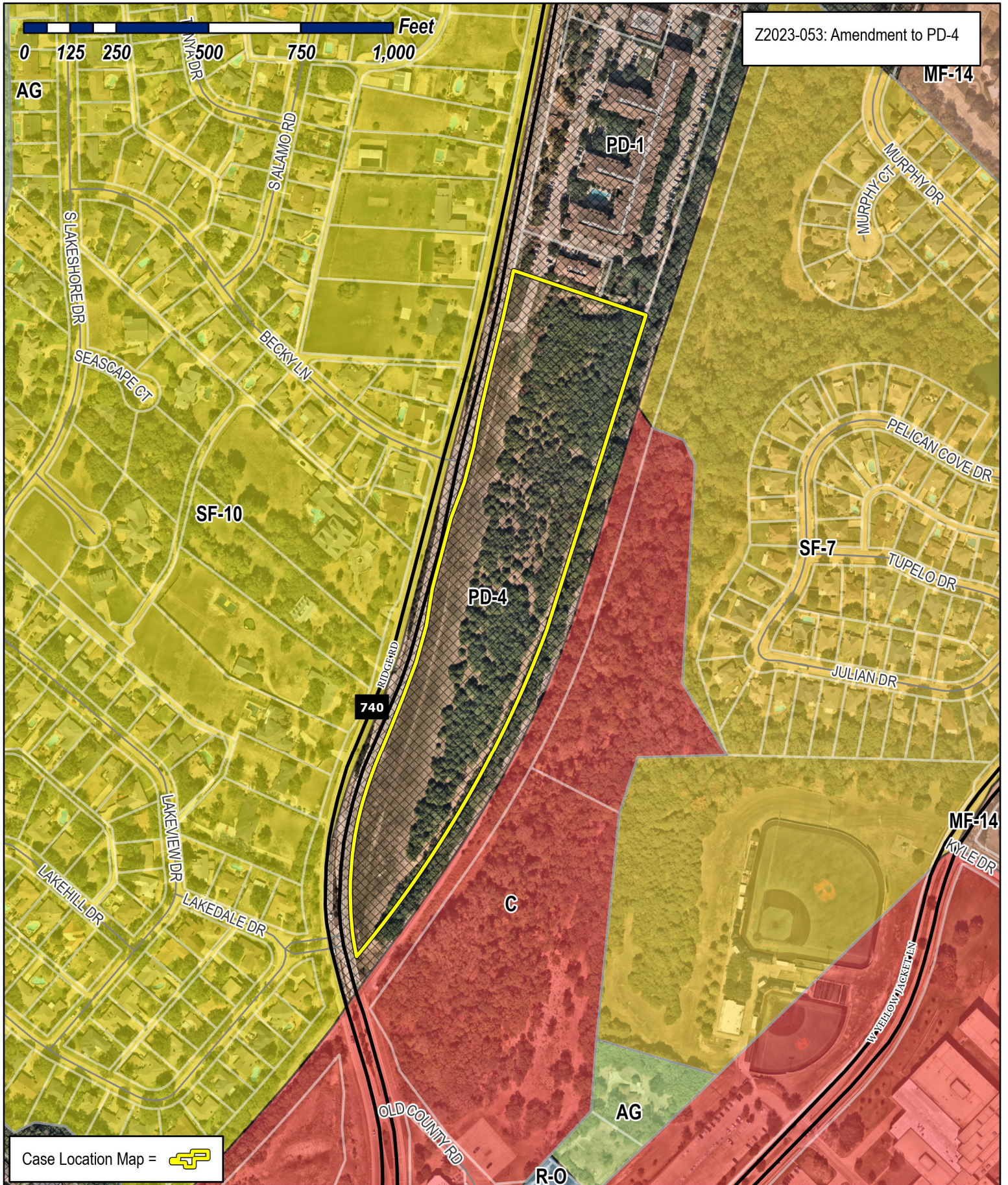
Sally Arthur



MY COMMISSION EXPIRES

7-6-25





Z2023-053: Amendment to PD-4

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



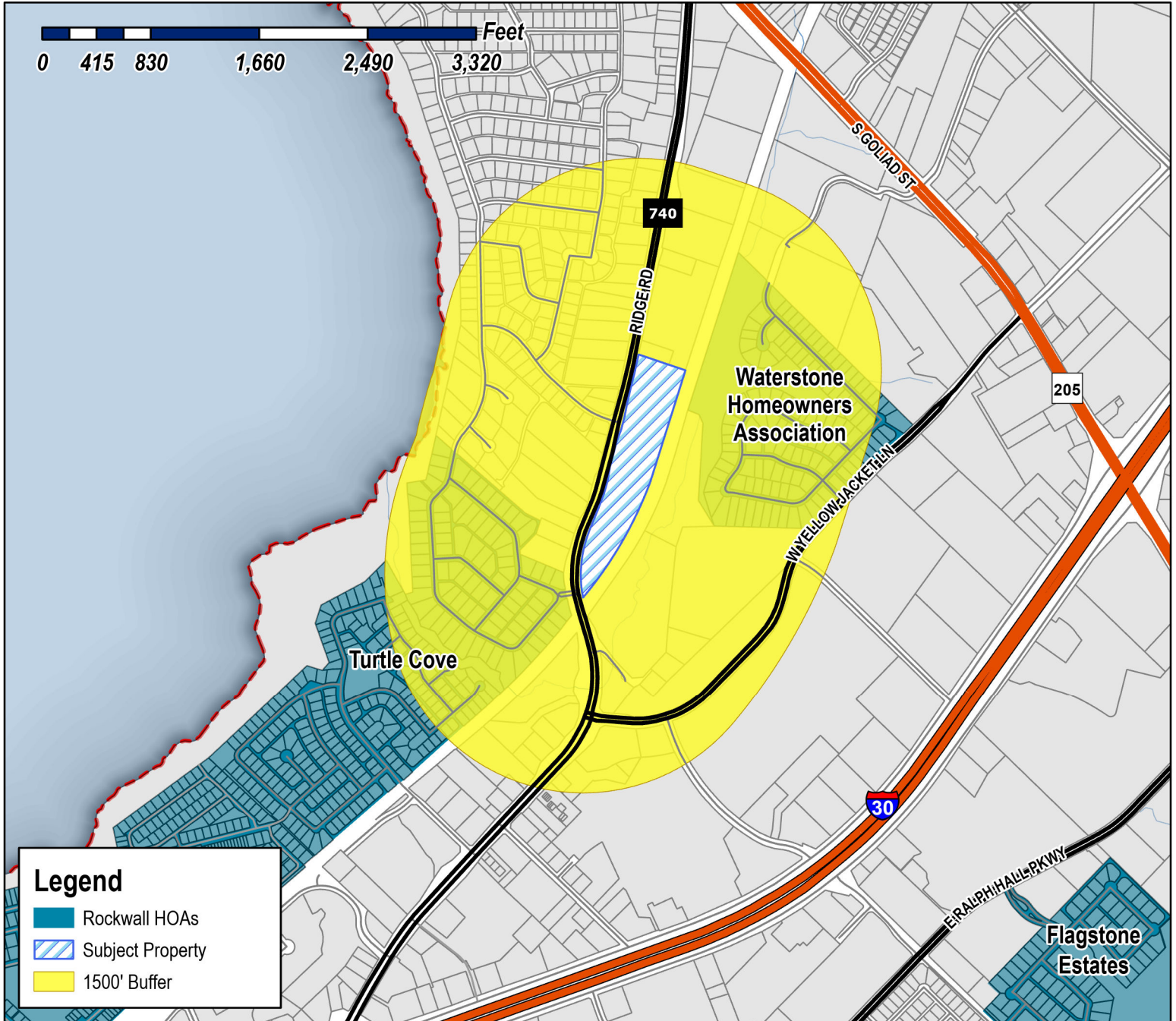




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**Case Number:** Z2023-053  
**Case Name:** Amendment to PD-4  
**Case Type:** Zoning  
**Zoning:** PD-4  
**Case Address:** Ridge Rd.

**Date Saved:** 11/10/2023  
 For Questions on this Case Call (972) 771-7745





## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Thursday, November 16, 2023 3:24 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-053]  
**Attachments:** Public Notice (P&Z) (11.15.2023).pdf; HOA Map (11.10.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 17, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-053: Amendment to PD-4**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Richard Chandler of HFS Management, Inc. for the approval of a *Zoning Change* amending Planned Development District 4 (PD-4) [*Ordinance No. 72-03 & 01-26*] being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [*FM-740*], and take any action necessary.

Thank You,

***Melanie Zavala***

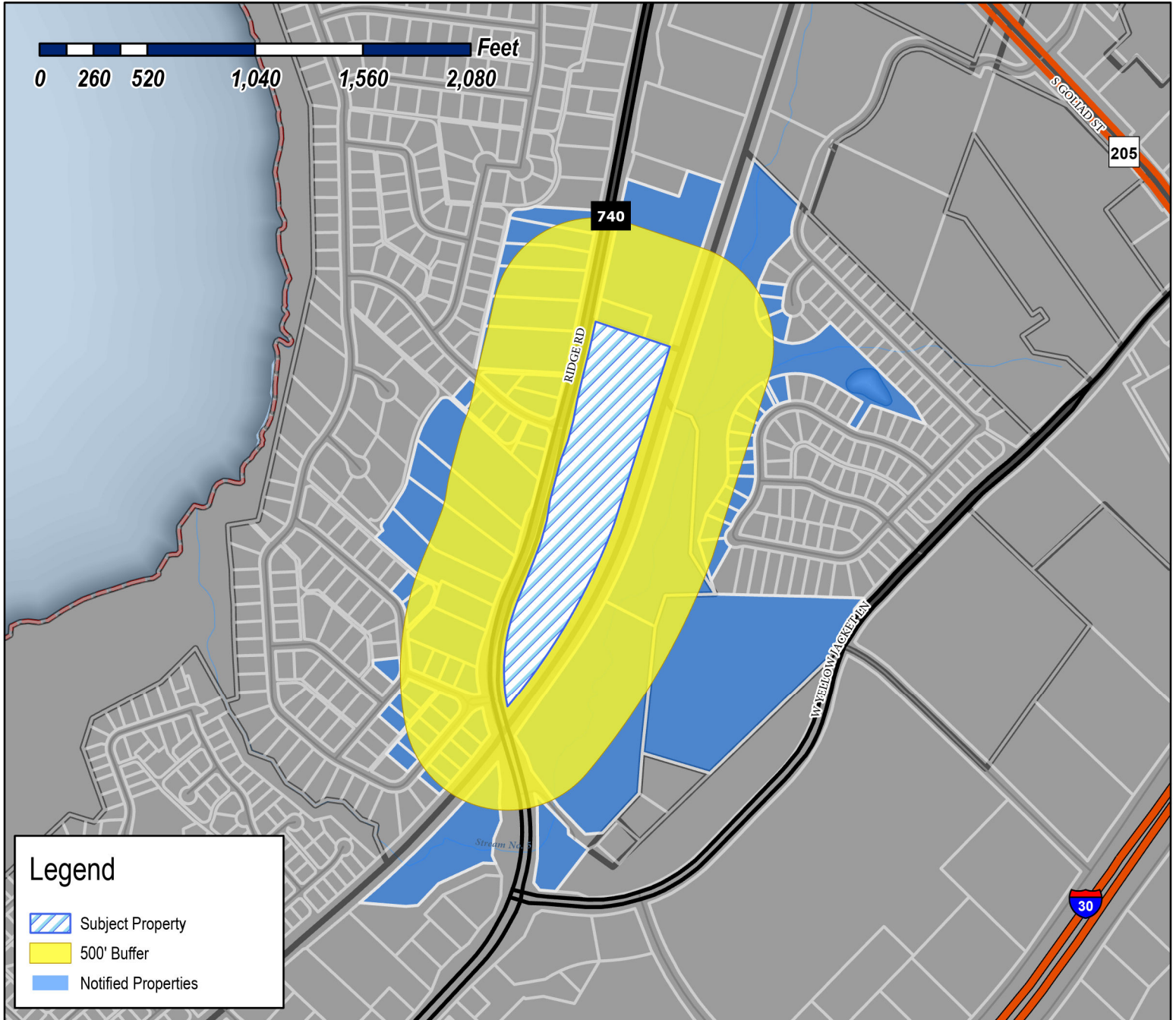
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-053  
**Case Name:** Amendment to PD-4  
**Case Type:** Zoning  
**Zoning:** PD-4  
**Case Address:** Ridge Rd.

**Date Saved:** 11/10/2023  
 For Questions on this Case Call: (972) 771-7746



NEUFELL JAMES V AND FRANCINE M  
101 BECKY LN  
ROCKWALL, TX 75087

RESIDENT  
102 LAKEDALE DR  
ROCKWALL, TX 75087

MARSHALL RICHARD A AND  
KENNETH F WILSON  
103 BECKY LN  
ROCKWALL, TX 75087

STAVINOHA JIM L & MITZIE J  
103 JULIAN DR  
ROCKWALL, TX 75087

HAMILTON JAMES MARK AND  
STEVEN TORRES  
104 BECKY LN  
ROCKWALL, TX 75087

WEST KENDRA LYNN AND  
JOHN HENRY LEWIS  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

COX MARCUS D  
105 BECKY LANE  
ROCKWALL, TX 75087

AZULAY TJ AND MELINDA  
105 EMERALD COVE  
HEATH, TX 75032

7.1 RIDGE LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

MARTINEZ GRACE & JESSE LEE III  
106 LAKEDALE DR  
ROCKWALL, TX 75087

VILLASENOR GRACIELA R  
106 PELICAN COVE DR  
ROCKWALL, TX 75087

RESIDENT  
107 BECKY LN  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

ECKERT TRUST  
DAVID W & BONNIE L ECKERT  
112 PELICAN COVE DRIVE  
ROCKWALL, TX 75087

HAMPTON MATTHEW & CORINA  
118 PELICAN COVE DR  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

SHUGART WILLIAM E & MERIDITH JUNE  
124 PELICAN COVE DR  
ROCKWALL, TX 75087

HALL STEPHANIE MCGARRY  
130 PELICAN COVE DR  
ROCKWALL, TX 75087

RESIDENT  
1309 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
134 PELICAN COVE DR  
ROCKWALL, TX 75087

ANDERSON JERRY C AND MELVA J  
138 PELICAN COVE DR  
ROCKWALL, TX 75087

HIDALGO RAFAEL  
1400 RIDGE RD  
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M  
1402 RIDGE RD  
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST  
MICHAEL WAYNE ROGERS AND RELLA  
VILLASANA ROGERS, TRUSTEES  
1404 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1405 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1406 RIDGE RD  
ROCKWALL, TX 75087

NORMAN LINDA  
1406-B RIDGE RD  
ROCKWALL, TX 75087

PADILLA OSCAR GAMALIEL AND MELISSA  
AZUSENA  
1408 RIDGE ROAD  
ROCKWALL, TX 75087

RESIDENT  
1410 RIDGE RD  
ROCKWALL, TX 75087



NAJMABADI NATHAN R & JENNIFER N  
1412 RIDGE ROAD  
ROCKWALL, TX 75087

KROPKE JAMES & MARY  
142 PELICAN COVE DR  
ROCKWALL, TX 75087

CRANE ADAM T  
146 PELICAN COVE DR  
ROCKWALL, TX 75087

TEBBUTT BRIAN C  
150 PELICAN COVE DR  
ROCKWALL, TX 75087

TEBBUTT BRIAN & MYLA  
150 PELICAN COVE DRIVE  
ROCKWALL, TX 75087

WELLS RACHEL MARY  
1502 RIDGE ROAD  
ROCKWALL, TX 75087

BARRON JOSE ENRIQUE AND ELIZABETH  
1504 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
156 PELICAN COVE DR  
ROCKWALL, TX 75087

MCANALLY JOHN L & CINDY N  
1600 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1602 RIDGE RD  
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC  
16600 DALLAS PARKWAY SUITE 300  
DALLAS, TX 75248

HARRIS FAMILY LAKE HOUSE, LLC  
1663 MISSOURI ST  
SAN DIEGO, CA 92109

UHLIG JANET KAY  
168 MURPHY CT  
ROCKWALL, TX 75087

RESIDENT  
1722 RIDGE RD  
ROCKWALL, TX 75087

GREEN STEVEN T  
1724 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1726 RIDGE RD  
ROCKWALL, TX 75087

HATCHER JASON &  
NATASHA HATCHER  
1728 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
174 MURPHY CT  
ROCKWALL, TX 75087

KELLY TANNER B  
178 MURPHY CT  
ROCKWALL, TX 75087

PETTIGREW TERESA VIOLA  
1901 LAKEVIEW DR  
ROCKWALL, TX 75087

BALL DEREK AND AMANDA  
1903 LAKEVIEW DR  
ROCKWALL, TX 75087

VAUGHAN DANIEL J AND JESSICA  
1905 LAKEVIEW DR  
ROCKWALL, TX 75087

PADILLA KRIS AND JOE  
2005 LAKESHORE DRIVE  
ROCKWALL, TX 75087

RUSSELL CURTIS J & JENNIFER J  
2006 S LAKESHORE DR  
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L  
2007 S LAKESHORE  
ROCKWALL, TX 75087

CHARLES JACOB  
2008 S LAKESHORE DR  
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND  
KIMBERLY LEE PETRIELLO  
2009 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

MARSHALL BRUCE AND LORRAINE  
2010 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
2011 LAKESHORE DR  
ROCKWALL, TX 75087

SALAZAR AARON AND OLGA  
2012 LAKESHORE DR  
ROCKWALL, TX 75087

RESTORATION PROPERTIES GROUP LLC  
2013 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
2014 LAKESHORE DR  
ROCKWALL, TX 75087

RIIS RICKI LEE  
203 LAKEVIEW DR  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

HAYNES PETER & JANNA  
208 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

RESIDENT  
2135 RIDGE RD  
ROCKWALL, TX 75087

MFR PROPERTIES LLC AND  
YELLOW JACKET PLAZA LLC  
28632 ROADSIDE DR SUITE 270  
AGOURA HILLS, CA 91301

JAMES & MARY SYVRUD REVOCABLE TRUST  
JAMES P SYVRUD AND MARY J SYVRUD  
301 MCKINNEY ST  
FARMERSVILLE, TX 75442

RPSC ROCKWALL PROPERTIES LLC  
3201 E PRESIDENT GEORGE BUSH HIGHWAY  
SUITE 101  
RICHARDSON, TX 75082

SOLENA GROUP, LLC  
321 PRAIRIE VIEW RD  
ROCKWALL, TX 75087

WILLCOXEN R GENE & MARY F  
4820 SUTCLIFF AVE  
SAN JOSE, CA 95118

SHERI POWERS REVOCABLE TRUST  
SHERI POWERS- TRUSTEE  
4872 CORONADO AVE  
SAN DIEGO, CA 92107

THAMES HOLDING LLC  
514 WILDEWOOD DR  
CHANDLER, TX 75758

HENDRICKS JAMES & BARBARA  
5903 VOLUNTEER PL  
ROCKWALL, TX 75032

ROCKWALL I S D  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

RESIDENT  
900 W YELLOWJACKET LN  
ROCKWALL, TX 75087

HUDSON SFR PROPERTY HOLDINGS LLC  
C/O HUDSON HOMES MANAGEMENT LLC  
ATTN: HEATHER HAWKINS 2711 N HASKELL STE  
1800  
DALLAS, TX 75204

AMERICAN RESIDENTIAL LEASING COMPANY LLC  
ATTN: PROPERTY TAX DEPARTMENT 23975  
PARK SORRENTO, SUITE 300  
CALABASAS, CA 91302

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

BURKE CASEY JOE AND ANDREA GAYDEN  
PO BOX 2514  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-053: Amendment to PD-4**

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Richard Chandler of HFS Management, Inc. for the approval of a Zoning Change amending Planned Development District 4 (PD-4) [Ordinance No. 72-03 & 01-26] being a 12.1462-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-053: Amendment to PD-4**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



November 13, 2023

Ryan Miller  
Director of Planning  
City of Rockwall  
385 S. Goliad Street,  
Rockwall, TX 75087

Re: 1661 Ridge Rd

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant an amendment to the PD-4 zoning on the 12.1462-acre tract of land located at 1661 Ridge Rd in Rockwall. The Rockwall Economic Development Corporation (REDC) has a contract to purchase the property and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract “Class-A” corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 90 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 90 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 to 13 feet below the elevation of Ridge Road. The REDC does not anticipate that a future office building will exceed the existing heights of the Lakeview Apartments building located to the north of the adjacent Rockwall Commons.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development.



The REDC kindly requests this amendment to PD-4 to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt Wavering", with a large, sweeping flourish at the end.

Matt Wavering  
Vice President

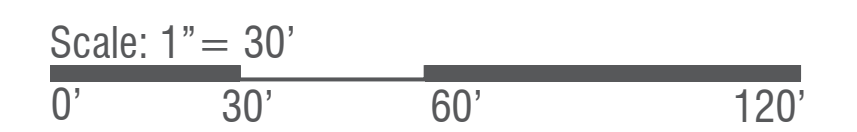
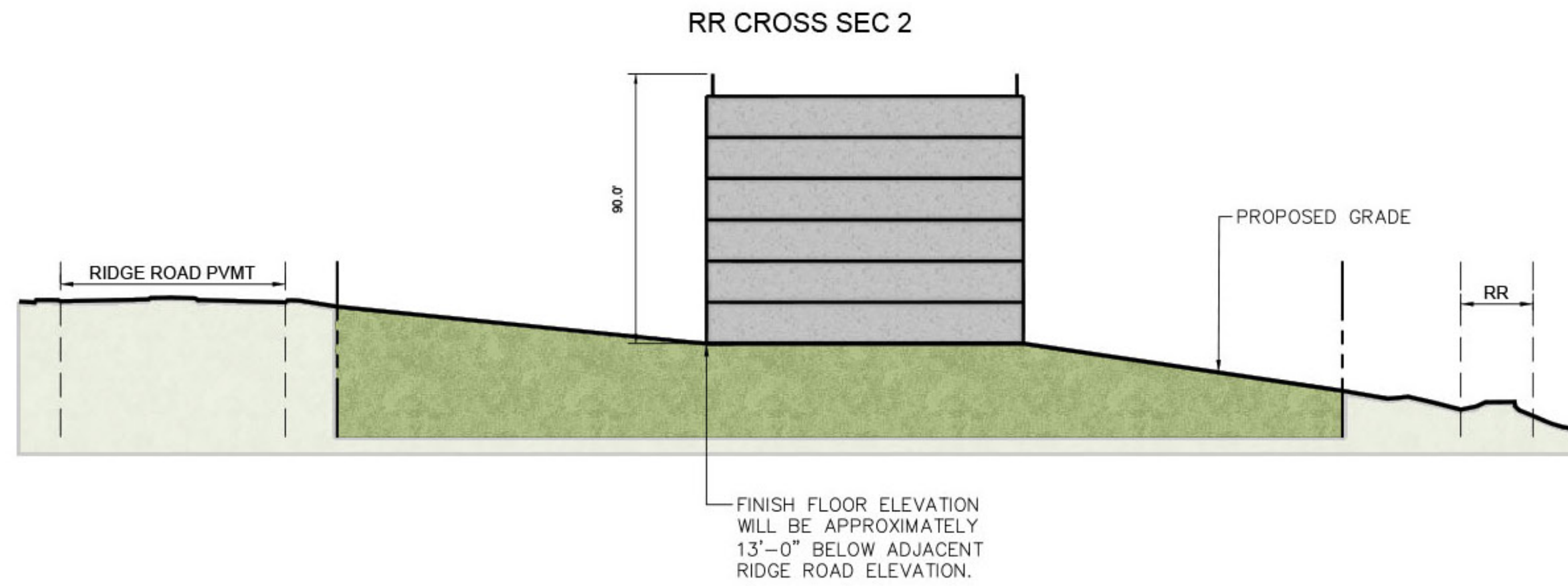
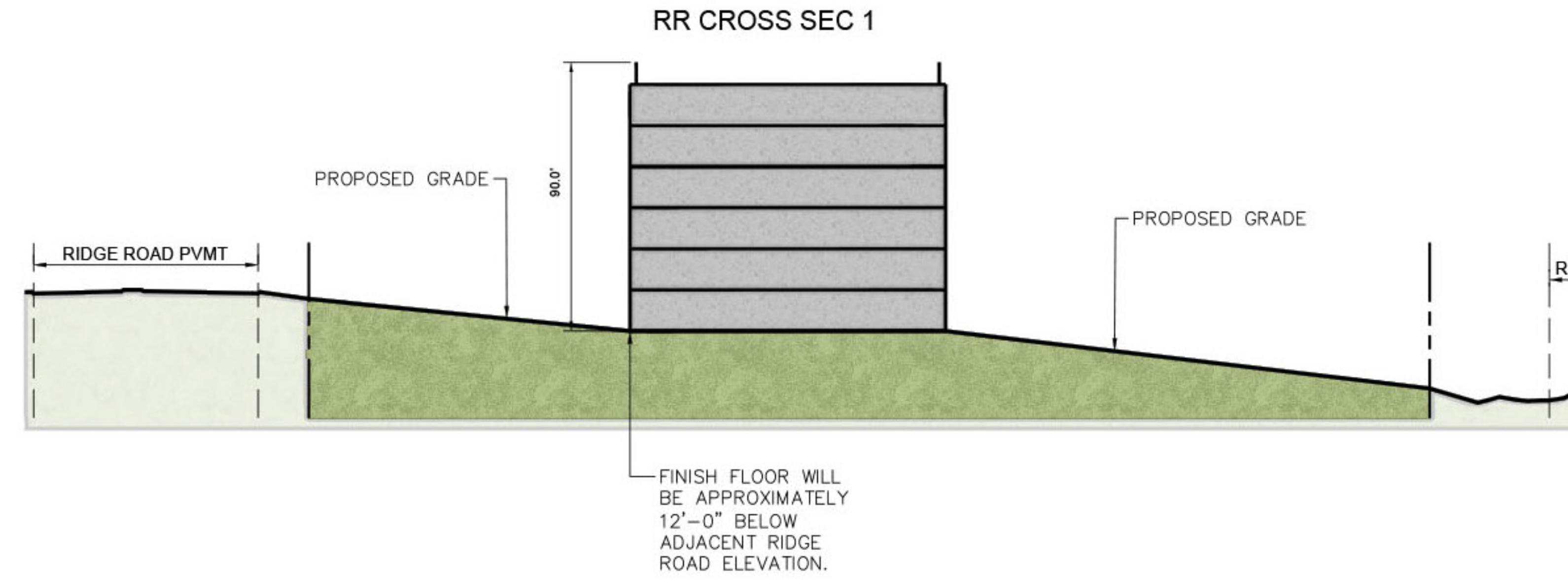


# CONCEPT SITE PLAN

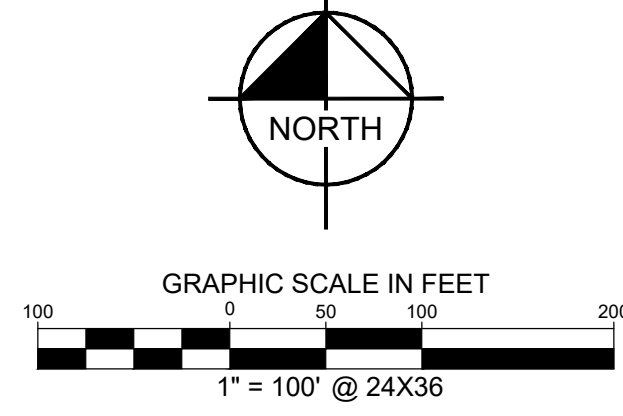
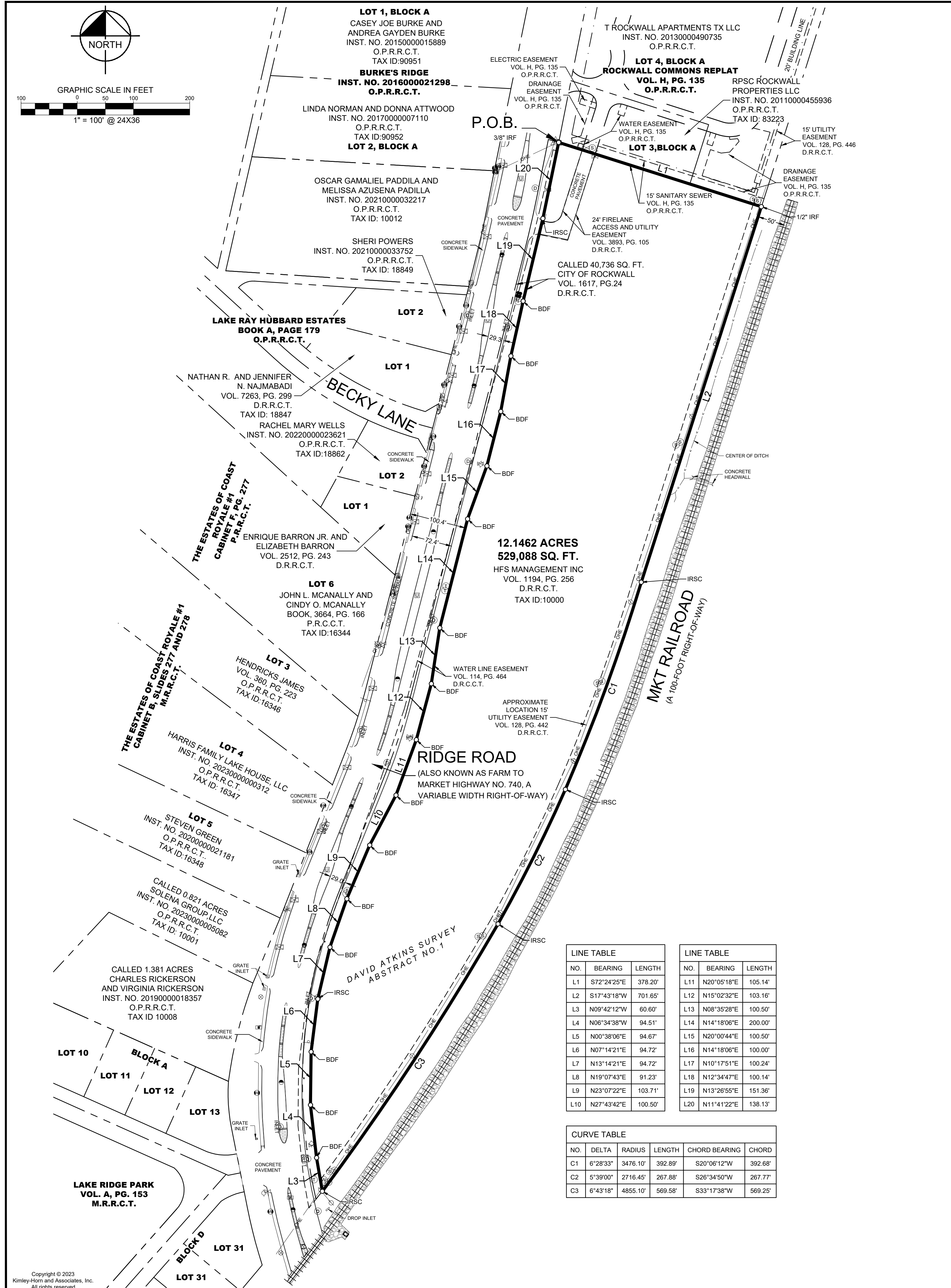




# CONCEPT SITE SECTION







**PROPERTY DESCRIPTION**

BEING a tract of land situated in the David Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, and being a portion of a tract of land described in the Special Warranty Deed to HFS Management Inc., recorded in Volume 1194, Page 256, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

**BEGINNING** at 3/8-inch iron rod found in the east right-of-way line of Ridge Road (also known as Farm to Market Highway No. 740, a variable width right-of-way), same being the northeast corner of a called 40,736 square foot tract of land described in the Right-of-Way Deed to the City of Rockwall, recorded in Volume 1617, Page 25, Deed Records, Rockwall County, Texas, and being the southwest corner of Lot 3, Block A of Rockwall Commons Replat, an Addition to the City of Rockwall according to the plat thereof recorded in Instrument No. 2010000443217, Official Public Records, Rockwall County, Texas, and being in the north line of said HFS Management Inc., tract;

**THENCE** with the north line of said HFS Management Inc., tract, South 72°24'25" East, a distance of 378.20 feet to a 1/2-inch iron rod found in the west right-of-way line of MKT Railroad (a 100-foot right-of-way), same being the southeast corner of Lot 4, Block A of the aforementioned Rockwall Commons Replat;

**THENCE** with the west right-of-way line of said MKT Railroad, the following courses and distances:

South 17°43'18" West, a distance of 701.65 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 3,476.10 feet, a central angle of 06°28'33", and a chord bearing and distance of South 20°06'12" West, 392.68 feet;

In a southerly direction, with said non-tangent curve to the right, an arc distance of 392.89 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 2,716.45 feet, a central angle of 05°39'00", and a chord bearing and distance of South 26°34'50" West, 267.77 feet;

In a southerly direction, with said non-tangent curve to the right, an arc distance of 267.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 4,855.10 feet, a central angle of 06°43'18", and a chord bearing and distance of South 33°17'38" West, 569.25 feet;

In a southerly direction, with said non-tangent curve to the right, an arc distance of 569.58 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set at the intersection of the west right-of-way line of said MKT Railroad and the east right-of-way line of said Ridge Road;

**THENCE** with said east right-of-way line of Ridge Road and the east line of the aforementioned 40,736 square foot tract, the following courses and distances:

North 09°42'12" West, a distance of 60.60 feet to a 4-inch bronze disk stamped "Texas Department of Transportation" found (hereinafter called bronze disk);

North 06°34'38" West, a distance of 94.51 feet to a bronze disk found;

North 00°38'06" East, a distance of 94.67 feet to a bronze disk found;

North 07°14'21" East, a distance of 94.72 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set;

North 13°14'21" East, a distance of 94.72 feet to a bronze disk found;

North 19°07'43" East, a distance of 91.23 feet to a bronze disk found;

North 23°07'22" East, a distance of 103.71 feet to a bronze disk found;

North 27°43'42" East, a distance of 100.50 feet to a bronze disk found;

North 20°05'18" East, a distance of 105.14 feet to a bronze disk found;

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North 14°18'06" East, a distance of 200.00 feet to a bronze disk found;

North 20°00'44" East, a distance of 100.50 feet to a bronze disk found;

North 14°18'06" East, a distance of 100.00 feet to a bronze disk found;

North 10°17'51" East, a distance of 100.24 feet to a bronze disk found;

North 12°34'47" East, a distance of 100.14 feet to a bronze disk found;

North 13°26'55" East, a distance of 151.36 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set;

North 11°41'22" East, a distance of 138.13 feet to the **POINT OF BEGINNING** and containing a calculated area of 529,088 square feet or 12.1462 acres of land.

**NOTES:**

- Bearing system based on the State Plane Coordinate System of 1983, Texas North Central Zone (4202), North American Datum of 1983, Adjustment Realization of 2011.
- There was no visible evidence of current earth moving work, building construction or building additions were observed at the time of the survey.
- There were no marked or designated parking spaces at the time of survey.
- Tax ID Numbers and property addresses shown hereon referenced from the Rockwall Central Appraisal District Website (rockwallcad.com).

**NOTES ADDRESSING SCHEDULE B EXCEPTIONS:**

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF. No. 1002-386137-RTT, effective date August 18, 2023, issued August 31, 2023.)

- The Easement to the City of Rockwall, recorded in Volume 114, Page 464, Deed Records, Rockwall County, Texas, as shown hereon.
- The 15-foot Utility Easement recorded in Volume 128, Page 442, Deed Records, Rockwall County, Texas, as shown hereon.
- The 24-foot Firelane, Access and Utility Easement to the City of Rockwall, recorded in Volume 3893, Page 105, Real Property Records, Rockwall County, Texas, as shown hereon.

**SURVEYOR'S CERTIFICATION:**

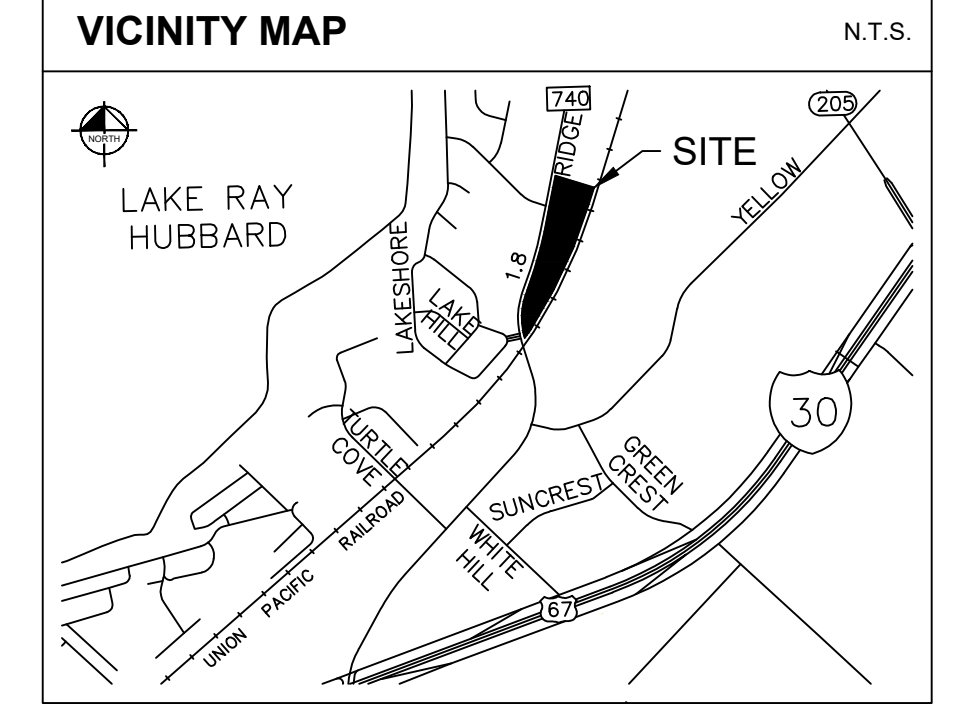
To: HFS Management, INC.  
 FWT Development LLC.  
 First American Title Insurance Company,  
 Republic Title of Texas, Inc.;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 13 and 16 of Table A thereof.

The field work was completed on August 21, 2023.

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S72°24'25"E	378.20'	L11	N20°05'18"E	105.14'
L2	S17°43'18"W	701.65'	L12	N15°02'32"E	103.16'
L3	N09°42'12"W	60.60'	L13	N08°35'28"E	100.50'
L4	N06°34'38"W	94.51'	L14	N14°18'06"E	200.00'
L5	N00°38'06"E	94.67'	L15	N20°00'44"E	100.50'
L6	N07°14'21"E	94.72'	L16	N14°18'06"E	100.00'
L7	N13°14'21"E	94.72'	L17	N10°17'51"E	100.24'
L8	N19°07'43"E	91.23'	L18	N12°34'47"E	100.14'
L9	N23°07'22"E	103.71'	L19	N13°26'55"E	151.36'
L10	N27°43'42"E	100.50'	L20	N11°41'22"E	138.13'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	6°28'33"	3476.10'	392.89'	S20°06'12"W	392.68'
C2	5°39'00"	2716.45'	267.88'	S26°34'50"W	267.77'
C3	6°43'18"	4855.10'	569.58'	S33°17'38"W	569.25'



**LEGEND**

ROOF DRAIN	MAIL BOX
CABLE TV BOX	SANITARY SEWER CLEAN OUT
CABLE TV HANDHOLE	SANITARY SEWER MANHOLE
CABLE TV MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV MARKER FLAG	SANITARY SEWER MARKER SIGN
CABLE TV MARKER SIGN	SANITARY SEWER SEPTIC TANK
CABLE TV VAULT	SANITARY SEWER VAULT
COMMUNICATIONS BOX	STORM SEWER BOX
COMMUNICATIONS HANDHOLE	STORM SEWER DRAIN
COMMUNICATIONS MANHOLE	STORM SEWER MANHOLE
COMMUNICATIONS MARKER FLAG	STORM SEWER VAULT
COMMUNICATIONS MARKER SIGN	TRAFFIC BARRIER
COMMUNICATIONS VAULT	TRAFFIC BOLLARD
ELEVATION BENCHMARK	CROSS WALK SIGNAL
FIBER OPTIC BOX	CROSS WALK SIGNAL
FIBER OPTIC HANDHOLE	TRAFFIC HANDHOLE
FIBER OPTIC MANHOLE	TRAFFIC MANHOLE
FIBER OPTIC MARKER FLAG	TRAFFIC MARKER SIGN
FIBER OPTIC MARKER SIGN	TRAFFIC SIGNAL
FIBER OPTIC VAULT	TRAFFIC VAULT
MONITORING WELL	UNIDENTIFIED BOX
GAS HANDHOLE	UNIDENTIFIED HANDHOLE
GAS METER	UNIDENTIFIED METER
GAS MANHOLE	UNIDENTIFIED MANHOLE
GAS MARKER FLAG	UNIDENTIFIED MARKER FLAG
GAS SIGN	UNIDENTIFIED MARKER SIGN
GAS TANK	UNIDENTIFIED POLE
GAS VAULT	UNIDENTIFIED TANK
GAS VALVE	UNIDENTIFIED VAULT
TELEPHONE BOX	UNIDENTIFIED VALVE
TELEPHONE HANDHOLE	TREE
TELEPHONE MANHOLE	WATER BOX
TELEPHONE MARKER FLAG	FIRE DEPT. CONNECTION
TELEPHONE MARKER SIGN	WATER HAND HOLE
TELEPHONE VAULT	FIRE HYDRANT
PIPELINE MARKER SIGN	WATER METER
ELECTRIC BOX	WATER MANHOLE
FLOOD LIGHT	WATER MARKER FLAG
GUY ANCHOR	WATER MARKER SIGN
GUY ANCHOR POLE	WATER VAULT
ELECTRIC HANDHOLE	WATER VALVE
LIGHT STANDARD	AIR RELEASE VALVE
ELECTRIC METER	WATER WELL
ELECTRIC MANHOLE	IRSC: 5/8" IRON ROD W/ "NHA" CAP SET
ELECTRIC MARKER FLAG	IRSC: IRON ROD WITH CAP FOUND
ELECTRIC MARKER SIGN	PKS: PK NAIL SET
UTILITY POLE	PKF: PK NAIL FOUND
ELECTRIC TRANSFORMER	IRF: IRON PIPE FOUND
ELECTRIC VAULT	IPF: IRON PIPE FOUND
HANDICAPPED PARKING	ADF: ALUMINUM DISK FOUND
SIGN	X5: "X" CUT IN CONCRETE SET
MARQUEE/BILLBOARD	XF: "X" CUT IN CONCRETE FOUND
BORE LOCATION	P.O.B.: POINT OF BEGINNING
FLAG POLE	P.O.C.: POINT OF COMMENCING
GREASE TRAP	

**LINE TYPE LEGEND**

--- ---	BOUNDARY LINE
---	ADJACENT PROPERTY LINE
- - - -	EASEMENT LINE
---	BUILDING LINE
---	OVERHEAD UTILITY LINE
---	FENCE
---	CONCRETE PAVEMENT

**ABBREVIATION LEGEND**

P.O.B. = POINT OF BEGINNING  
 IRSC = 5/8" IRON ROD WITH RED PLASTIC CAP STAMPED "KHA" SET  
 IRFC = IRON ROD WITH CAP FOUND  
 BDF = BRONZE DISK STAMPED "TEXAS DEPARTMENT OF TRANSPORTATION" FOUND  
 VOL. = VOLUME  
 PG. = PAGE  
 O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
 M.R.R.C.T. = MAP RECORDS, ROCKWALL COUNTY, TEXAS

**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008 this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor

**ALTA/NSPS LAND TITLE SURVEY**  
 12.1462 ACRES  
 DAVID ATKINS SURVEY, ABSTRACT NO. 1  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

**Kimley»Horn**  
 13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620  
 Scale 1" = 100' Drawn by AEL Checked by CDB Date Sep. 2023 Project No. 064584403 Sheet No. 1 OF 1

Craig D. Bartosh 9/15/2023  
 Registered Professional Land Surveyor No. 6459  
 Kimley-Horn and Associates, Inc.  
 13455 Noel Road  
 Two Galleria Office Tower, Suite 700  
 Dallas, Texas 75240  
 Ph. 972-770-1300  
 craig.bartosh@kimley-horn.com



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 4 (PD-4) [ORDINANCE NO. 72-03 & 01-26] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 4 (PD-4) BEING 12.1148-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City of Rockwall has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of an amendment to Planned Development District 4 (PD-4) [Ordinance No. 72-03 & 01-26] being a 12.1148-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, which is more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 4 (PD-4) [Ordinance No. 's 72-03 & 01-26] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 's 72-03 & 01-26*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in Exhibit 'D' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'D', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in Exhibit 'E' of this ordinance, attached hereto and incorporated herein

by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 6.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>TH</sup> DAY OF JANUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

*1<sup>st</sup> Reading: December 18, 2023*

*2<sup>nd</sup> Reading: January 2, 2024*



**EXHIBIT 'A':**  
*Legal Description*

**BEING** a tract of land situated in the David Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, and being a portion of a tract of land described in the Special Warranty Deed to HFS Management Inc., recorded in Volume 1194, Page 256, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

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**THENCE** with the north line of said HFS Management Inc., tract, South 72°24'25" East, a distance of 378.20 feet to a 1/2-inch iron rod found in the west right-of-way line of MKT Railroad (a 100-foot right-of-way), same being the southeast corner of Lot 4, Block A of the aforementioned Rockwall Commons Replat;

**THENCE** with the west right-of-way line of said MKT Railroad, the following courses and distances:

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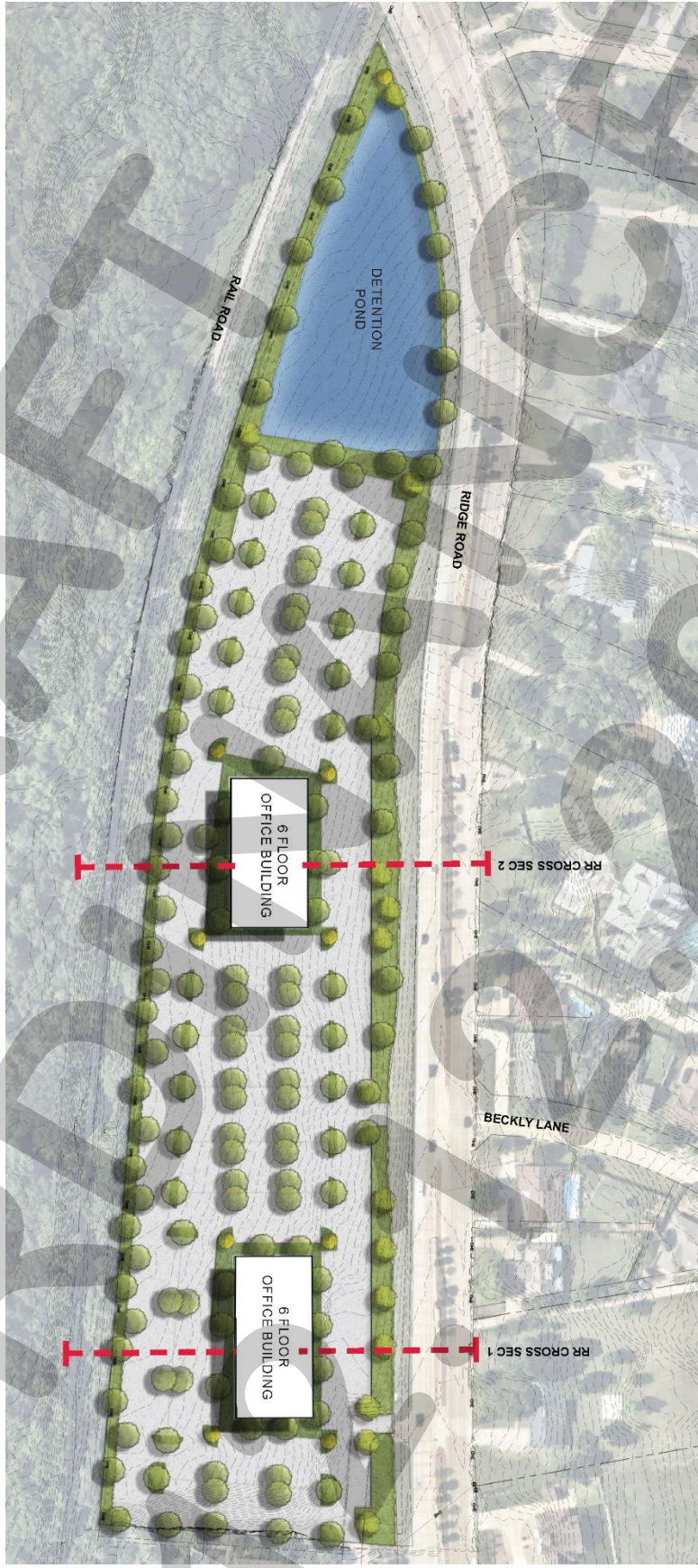
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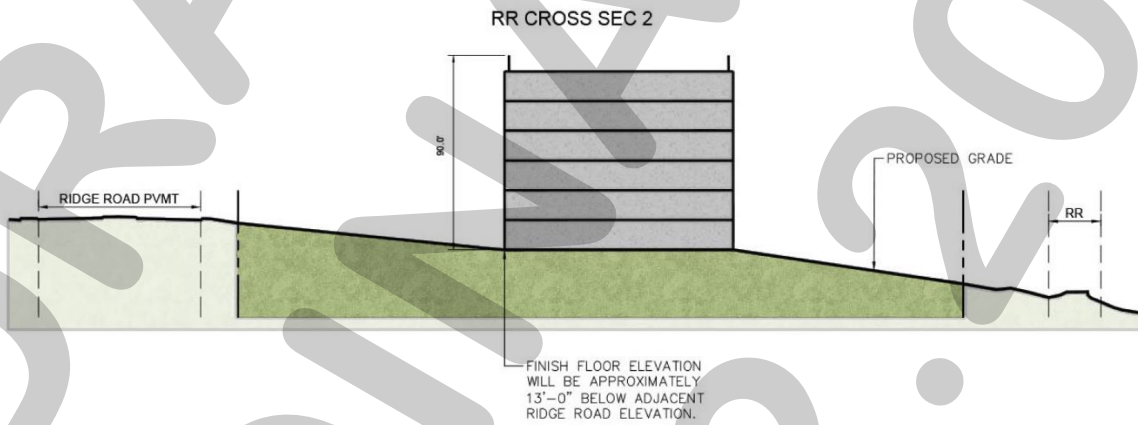
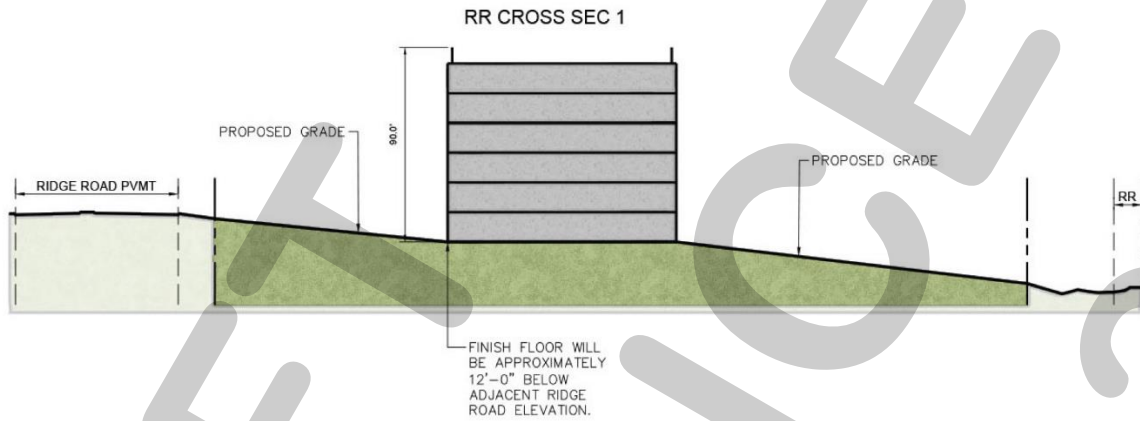


**EXHIBIT 'C':**  
Concept Plan





**EXHIBIT 'D':**  
*Conceptual Cross Sections*



**EXHIBIT 'E':**  
*PD Development Standards*

- (A) Purpose Statement. The purpose of this Planned Development District is to provide *Class 'A'* corporate offices that will be occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In addition, this Planned Development District aims at attracting offices that can provide significant tax value and investment for the community. This type of development could include one (1) or two (2) large office buildings -- *and potentially some accessory or supporting land uses (e.g. retail, restaurant, etc.)* -- as depicted in the *Concept Plan* in *Exhibit 'A'*.
- (B) Permitted Uses. The *Subject Property* shall be subject to the land uses permitted in the General Retail (GR) District contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, with the following additional land uses and restrictions:

Land Uses Permitted By-Right:

- Office Buildings Greater Than 25,000 SF

Prohibited Land Uses:

- Animal Clinic for Small Animals without Outdoor Pens
- Animal Boarding/Kennel without Outside Pens
- Animal Hospital, Clinic
- Convent, Monastery, or Temple
- Hotel or Motel (*i.e. Limited Service, Full Service, Residence*)
- Hotel, Residence
- Caretakers Quarters/Domestic or Security Unit
- Convalescent Care Facility/Nursing Home
- Daycare with Seven (7) or More Children
- Emergency Ground Ambulance Service
- Group or Community Home
- Hospice
- Hospital
- Public Library, Art Gallery or Museum
- Local Post Office
- Public or Private Primary School
- Public or Private Secondary School
- Cemetery/Mausoleum
- Mortuary of Funeral Chapel
- Temporary Carnival, Circus, or Amusement Ride
- Outdoor Commercial Amusement/Recreation
- Indoor Gun Club with Skeet or Target
- Antique/Collectible Store
- Astrologer, Hypnotist, or Psychic
- Garden Supply/Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Pawn Shop
- Laundromat with Dropoff/Pickup Services
- Self Service Laundromat
- Social Service Provider
- Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In
- Restaurant with 2,000 SF or More with Drive-Through or Drive-In
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Service Station
- Mining and Extraction of (*Sand, Gravel, Oil and/or Other Materials*)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility



**EXHIBIT 'E':**  
*PD Development Standards*

(C) Density and Dimensional Requirements. The *Subject Property* shall generally be developed in accordance with the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance; however, deviations in the number of buildings and building locations may be approved through the site plan process, as long as, the proposed development conforms to the spirit and intent of the stated purpose of this Planned Development District ordinance. In addition, unless specifically provided by this Planned Development District ordinance, any development of the *Subject Property* shall conform to the requirements stipulated for the General Retail (GR) District and the Scenic Overlay (SOV) District as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, the subject property shall conform to the following standards:

**TABLE 1: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT WIDTH	60-FEET
MINIMUM LOT DEPTH	100-FEET
MINIMUM LOT AREA	6,000 SF
MINIMUM FRONT YARD SETBACK <sup>1 &amp; 2</sup>	25-FEET
MINIMUM SIDE YARD SETBACK	10-FEET
MINIMUM REAR YARD SETBACK	10-FEET
BETWEEN BUILDINGS	15-FEET
MAXIMUM HEIGHT	90-FEET
MAXIMUM LOT COVERAGE	60%
FLOOR AREA RATIO	4:1

**NOTES:**

<sup>1</sup>: A MAXIMUM OF ONE (1) ROW OF PARKING MAY BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.

<sup>2</sup>: THE FRONT YARD SETBACK SHALL CREATE A UNIFORM BUILDING FRONTAGE ALONG RIDGE ROAD [FM-740].

(D) PD Development Plan. A *PD Development Plan* shall be required if a proposed development within Planned Development District 4 (PD-4) does not meet the stated purpose described in Subsection (A) of *Exhibit 'E'* of this ordinance, and/or does not meet the intent of the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance. If a *PD Development Plan* is required it shall be submitted and approved in accordance with requirements of Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC).

(E) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Trenton Jones & Ben Sanchez; *Parkhill*  
**CASE NUMBER:** SP2023-034; *Site Plan for Rockwall County Courthouse Annex*

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### SUMMARY

Consider a request by Trenton Jones and Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Site Plan for a *Government Building* on a 1.90-acre portion of a larger 12.79-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963 E. Yellow Jacket Lane, and take any action necessary.

### BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the property was zoned from Agricultural (AG) District to Commercial (C) District. On May 17, 2010, the City Council approved a final plat that established the subject property as Lot 1, Block A, Rockwall County Courthouse Addition. According to the Rockwall Central Appraisal District (RCAD), a 121,208 SF *Government Facility* (i.e. *Rockwall County Courthouse*) was constructed in 2011.

On November 14, 2023, the Planning and Zoning Commission approved a motion to table the applicants request, to allow the applicant time to better address recommendations made by the Architectural Review Board (ARB).

### PURPOSE

On October 20, 2023, the applicants -- *Trenton Jones and Ben Sanchez of Parkhill* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Government Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located south of the intersection of T. L. Townsend Drive and E. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.485-acre parcel of land (i.e. *Lot 10, Block A, First United Methodist Church Addition*) developed with a *Church/House of Worship*. Beyond this is a vacant 9.001-acre parcel of land (i.e. *Lot 11, Block A, First United Methodist Church Addition*). Both of these properties are zoned Commercial (C) District.

South: Directly south of the subject property are several parcels of land developed with commercial land uses (i.e. *Office, Retail, General Personal Service, Animal Hospital, Car Wash, & Car Dealership*), and zoned Commercial (C) District. Beyond this is the intersection of S. Goliad Street [*SH-205*] and E. Interstate 30 [*IH-30*], where S. Goliad Street [*SH-205*] is classified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.



East: Directly east of the subject property is a 5.909-acre parcel of land (i.e. Lot 5, Block A, Rockwall Library Addition) developed with a *Public Library* and zoned Commercial (C) District. Beyond this is T. L. Townsend Drive, which is classified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 4.194-acre parcel of land (i.e. Lot 1, Block A, Emerus Emergency Hospital) developed with a *Hospital* and zoned Light Industrial (LI) District.

West: Directly west of the subject property is E. Yellow Jacket Lane, which is classified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (i.e. Lot 11, Block A, First United Methodist Church Addition and Lot 6, Block 1, First United Methodist Church Addition). Following this are three (3) parcels of land developed with commercial land uses (i.e. *Minor Automotive Repair, Restaurant with Drive-Through, and Convenience Store with Gasoline Sales*). All of these properties are zoned Commercial (C) District. After this is S. Goliad Street [SH-205], which is classified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Government Facility* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=12.79-acres; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	X= 673.84-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=563.21-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X=15-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=23.5-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=9.1%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (Office) 39 Required Parking Spaces	X=43; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X=31.42%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	X=68.58%; <i>In Conformance</i>

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct a *Government Facility* on the subject property. According to Subsection 02.02(C)(12), *Government Facility*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Government Facility* is defined as “(a)n office of a governmental agency that provides administrative and/or direct services to the public...” In this case, the applicant’s proposed use falls under this classification, which is permitted *by-right* within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

**VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variance(s) and exception(s):

- (1) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building exceeds the wall length requirement, "...the maximum wall length shall not exceed three (3) times the wall height." This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (1) Landscape Buffer. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a landscape buffer shall have a "...minimum of one (1) canopy tree and one (1) accent tree...per 50-linear feet..." Given this, the applicant is required to have eight (8) canopy and eight (8) accent trees. That being said, the applicant is requesting not to plant the canopy trees and have 16 accent trees due to overhead power lines. This will require an *exception* from the Planning and Zoning Commission.
- (2) Driveway Spacing. According to *Figure 2.4: Minimum Driveway Spacing and Corner Clearance*, of Chapter 2, *Streets*, of the Engineering Department's *Standards of Design and Construction Manual*, driveways must be 100-feet apart. In this case, the applicant is adding an additional drive along E. Yellow Jacket Lane that is less than 100-feet to another existing drive. This will require a *variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing a 15-foot landscape buffer in lieu of a ten (10) foot, and [2] providing 31.40% landscaping in lieu of the required 20.00%. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District and is designated for Public land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." That being said, the subject property is located within a cluster of Public and Quasi-Public land uses. Given this, the proposed request is in conformance with the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 1, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board and provide material variation on the north and west facades. The applicant has made to the building elevation, which will be reviewed by the ARB prior to the December 12, 2023 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Government Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city



adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1111 E Yellow Jacket Ln, Rockwall, TX 75037

SUBDIVISION Rockwall County Courthouse Addition

LOT 1

BLOCK A

GENERAL LOCATION Grass area 300 ft NW of County Clerk Building

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE Commercial

PROPOSED ZONING Commercial

PROPOSED USE Commercial

ACREAGE 1.9 acres (Total Disturbed area)

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall County

APPLICANT Parkhill

CONTACT PERSON Frank New

CONTACT PERSON Trenton Jones, Ben Sanchez

ADDRESS 101 East Rusk St

ADDRESS 3000 Internet Blvd  
Suite 550

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Frisco, TX 75034

PHONE 972-204-6000

PHONE 972-987-1670

E-MAIL fnew@rockwallcountytexas.com

E-MAIL tjones@parkhill.com, bsanchez@parkhill.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

OWNER'S SIGNATURE



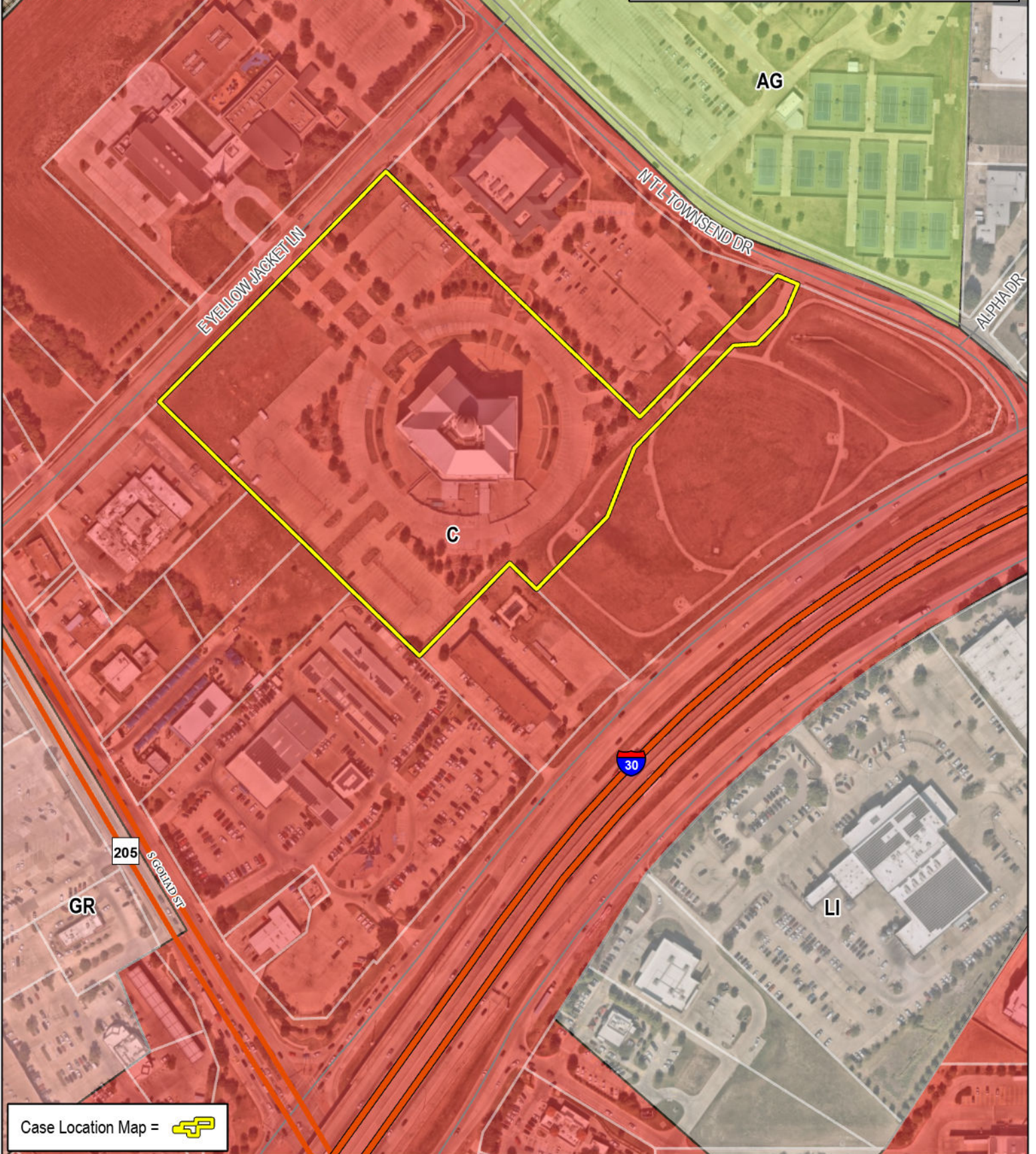
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES





SP22023-034: Site Plan for Rockwall County Annex



Case Location Map = 



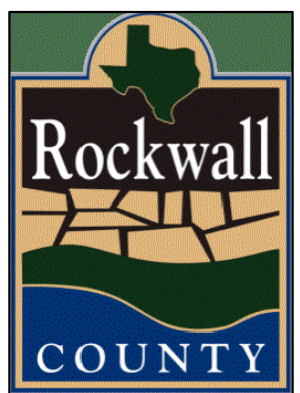
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



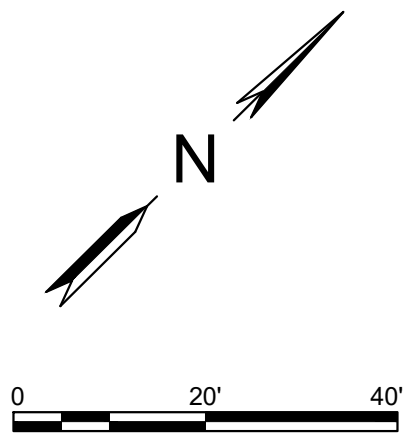




**CLIENT**  
Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
TOTAL SPACES	72	73

**KEY NOTES**

- AS INDICATED BY: (C)
- DRIVEWAY - SEE DETAIL B2/CS502
  - PARALLEL CURB RAMP - SEE DETAIL B4/CS501
  - STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
  - PARKING BLOCK - SEE DETAIL B3/CS501
  - HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
  - HANDICAP MARKING - SEE DETAIL A3/CS502
  - ACCESS AISLE MARKING - SEE DETAIL A2/CS502
  - HANDICAP SIGN - SEE DETAIL A1/CS502
  - RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

**SITE PLAN NOTES**

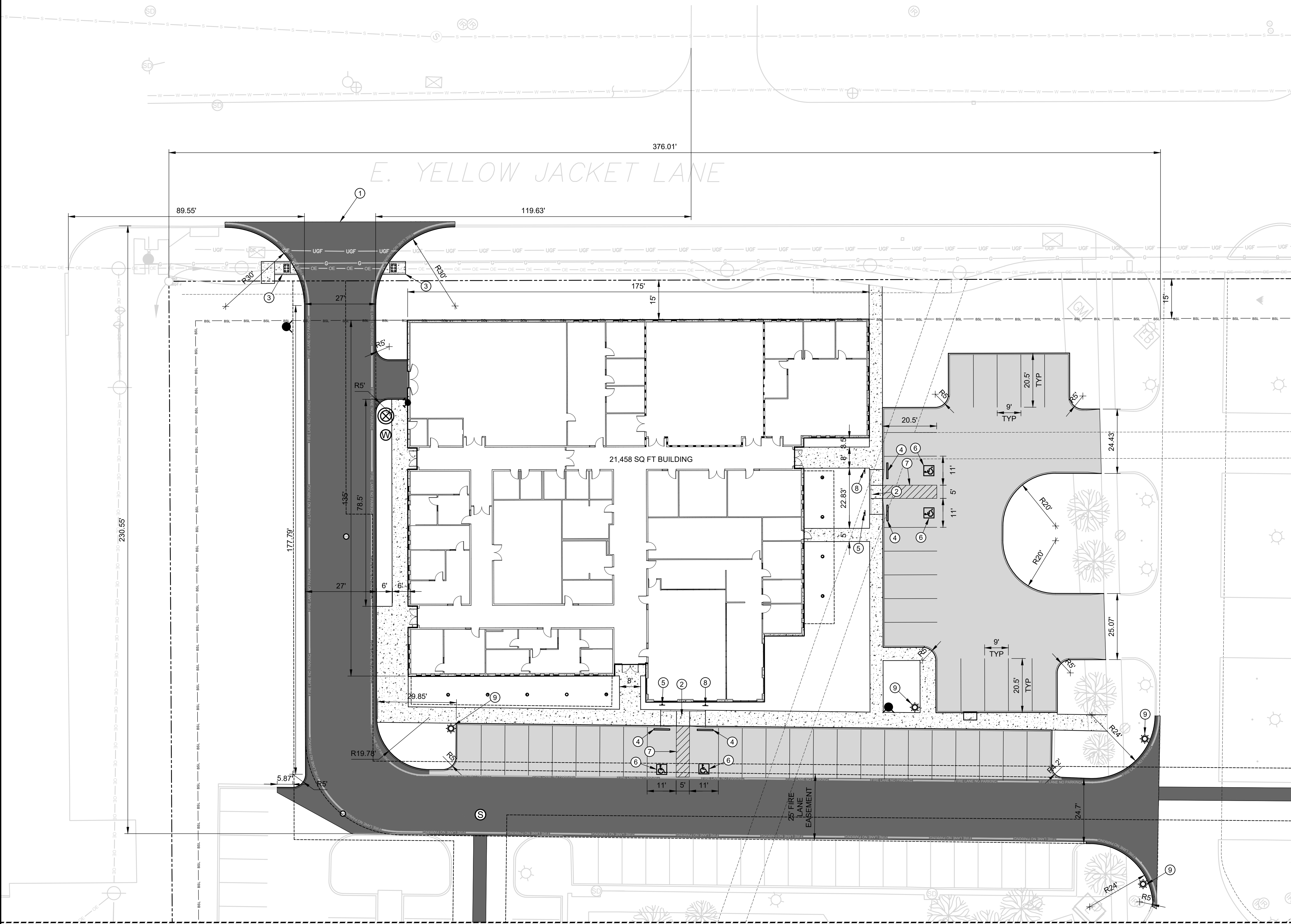
- FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- SIDEWALK - SEE DETAIL CS503
- 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
- 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501

**SIGNATURE BLOCK**

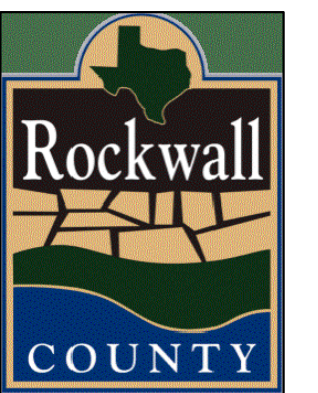
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**A1 SITE PLAN**  
1" = 20'

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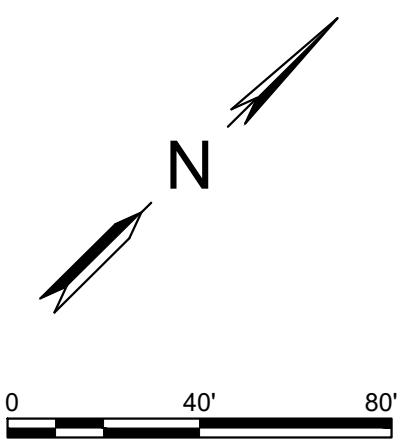




**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**



#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

## Site Plan CS101B

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
<b>TOTAL SPACES</b>	<b>72</b>	<b>73</b>

### KEY NOTES

- AS INDICATED BY: (C)
- DRIVEWAY - SEE DETAIL XX/CS501
  - PARALLEL CURB RAMP - SEE DETAIL B4/CS501
  - STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
  - PARKING BLOCK - SEE DETAIL B3/CS501
  - HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
  - HANDICAP MARKING - SEE DETAIL A3/CS502
  - ACCESS AISLE MARKING - SEE DETAIL A2/CS502
  - HANDICAP SIGN - SEE DETAIL A1/CS502
  - RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

### SITE PLAN NOTES

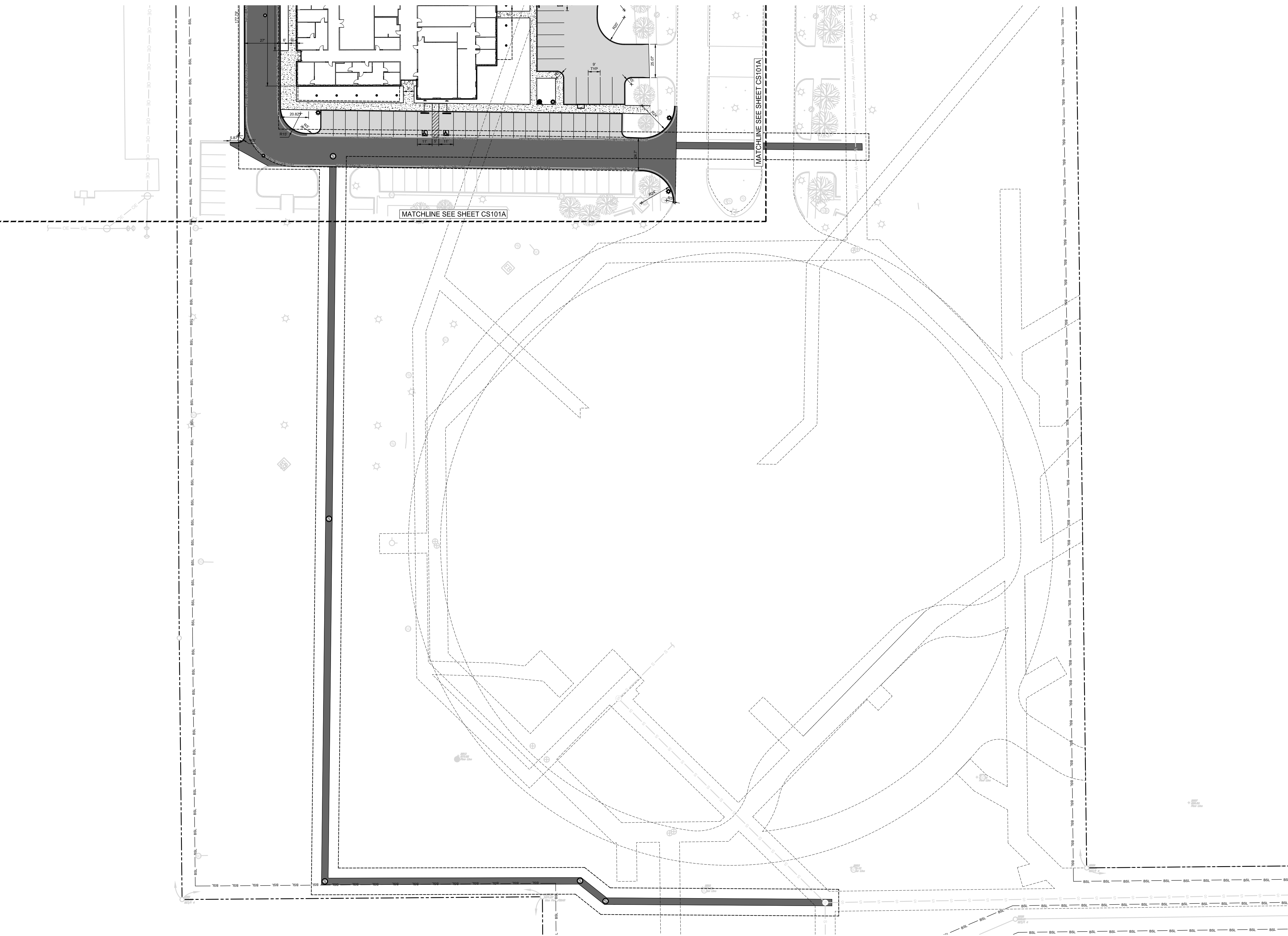
- FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION.
- INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

### LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
- EXISTING EASEMENT
- █ SIDEWALK - SEE DETAIL CS503
- █ 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
- █ 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501

### SIGNATURE BLOCK

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 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



## A1 SITE PLAN 1" = 40'





**CLIENT**  
**Rockwall County**  
 1111, E Yellow Jacket Ln  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**ROCKWALL COUNTY ANNEX**

#	DATE	DESCRIPTION
-	12/01/2023	Site Plan

CASE NUMBER: SP-2023-034

### GENERAL NOTES

- A. ALL ROOF MOUNTED EQUIPMENT TO BE MOUNTED ON "ROOF HIGH" LEVEL BEHIND STANDING SEAM ROOF PARAPET.
- B. ROOF PARAPET TO BE COMPLETELY ENCLOSED, AT UPPER/LOWER ROOFS. INTERIOR FACE OF ROOF HIGH PARAPET TO MATCH STUCCO ON EXTERIOR FACE.

### KEY NOTES

- AS INDICATED BY: (#) →
- 363 PREFIN MTL COPING
  - 461 ALUMINUM CANOPY
  - 462 STANDING SEAM METAL CANOPY
  - 463 ROOF LINE BEHIND PARAPET/PARAPET HEIGHT
  - 836 ROOFTOP MECH EQUIP. SCREENED BEHIND ROOF

### LEGEND

- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
- Brick Type A - Acme Pacific Clay - Calico or comparable color
- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
- Brick Type B - Acme Pacific Clay - Morro Rock or comparable color
- ADHERED VENEER STONE OVER CONCRETE TILT PANEL.  
- Natural Stone Veneers - Ashlar pattern - Heritage Manor or comparable color
- CONCRETE TILT PANEL w/ELASTOMERIC COATING.  
- TremGard HB - Oyster Shell or comparable color
- STUCCO  
- Dryvit - 522 Lite Gray or comparable color
- STANDING SEAM METAL ROOF  
- Awntech - Black k or comparable color
- GLAZING

### FACADE SURFACE AREA

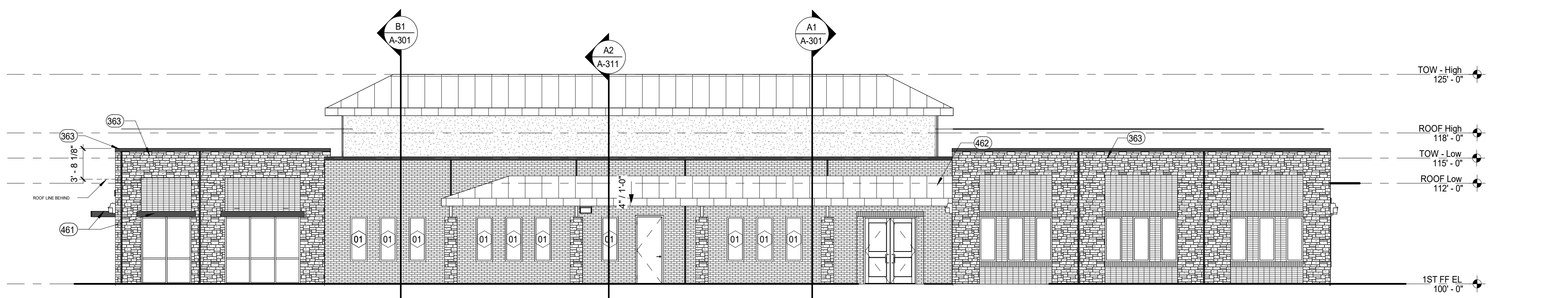
<b>EAST:</b>	Brick Type A	= 1,482 sf (57.4%)
	Brick Type B	= 41 sf (1.6%)
	Thin Stone	= 711 sf (27.6%)
	Stucco	= 345 sf (13.4%)
	<b>Total</b>	<b>= 2,581 sf (100%)</b>
<b>WEST:</b>	Brick Type A	= 1,383 sf (54%)
	Brick Type B	= 55 sf (2.2%)
	Thin Stone	= 767 sf (29.9%)
	Stucco	= 357 sf (13.9%)
	<b>Total</b>	<b>= 2,562 sf (100%)</b>
<b>NORTH:</b>	Brick Type A	= 1,307 sf (40.4%)
	Brick Type B	= 422 sf (13%)
	Thin Stone	= 1,021 sf (31.5%)
	Stucco	= 489 sf (15.1%)
	<b>Total</b>	<b>= 3,239 sf (100%)</b>
<b>SOUTH:</b>	Brick Type A	= 1,667 sf (52.9%)
	Brick Type B	= 10 sf (.3%)
	Thin Stone	= 1,004 sf (31.8%)
	Stucco	= 473 sf (15%)
	<b>Total</b>	<b>= 3,154 sf (100%)</b>

### SIGNATURE BLOCK

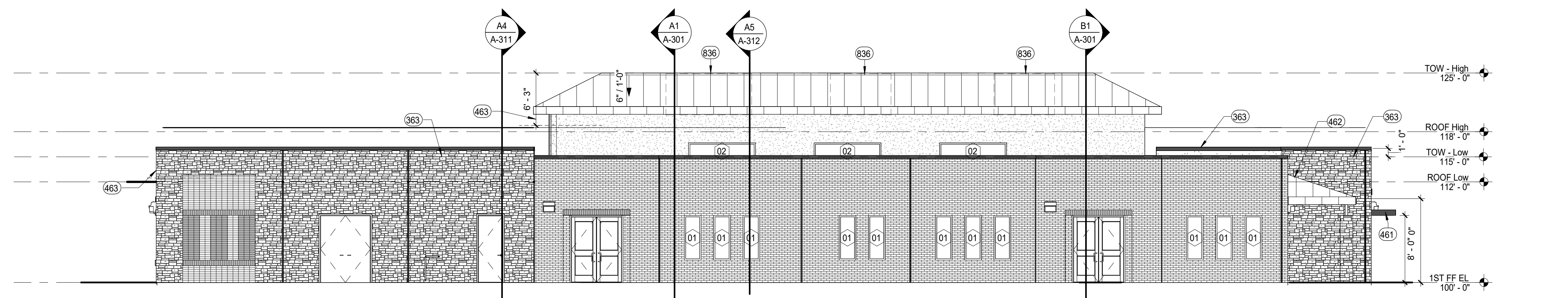
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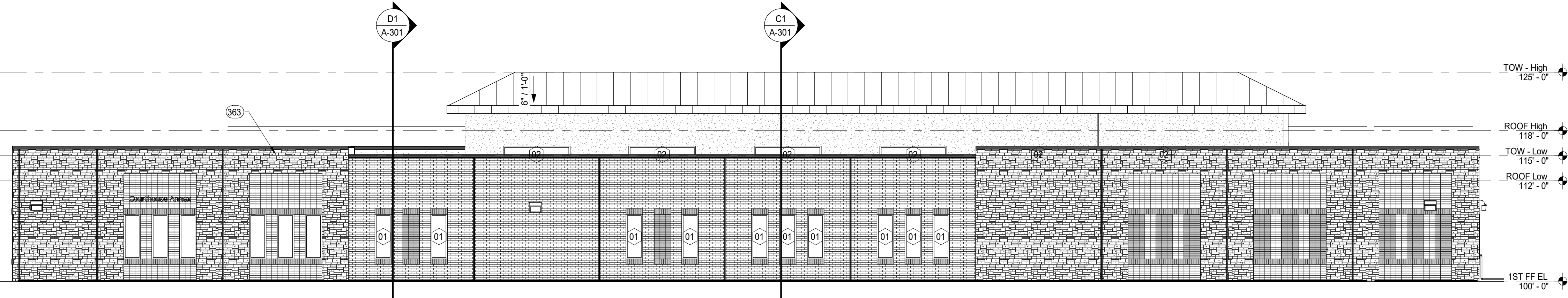
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



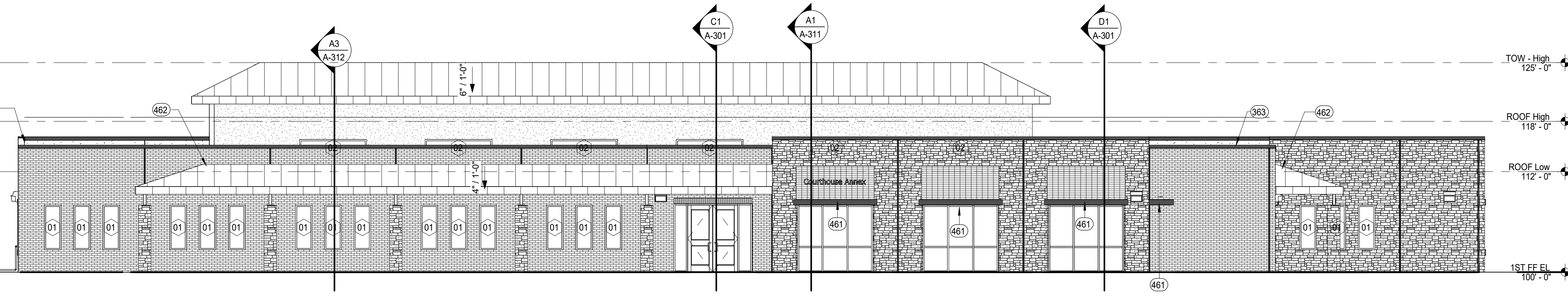
**D1 EAST ELEVATION**  
 1/8" = 1'-0"



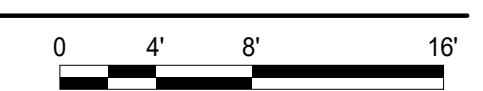
**C1 WEST ELEVATION**  
 1/8" = 1'-0"



**B1 NORTH ELEVATION**  
 1/8" = 1'-0"



**A1 SOUTH ELEVATION**  
 1/8" = 1'-0"







**D1** 3D View - SE  
1" = 1'-0"



**C1** 3D View - SW  
1" = 1'-0"



**B1** 3D View - NE  
1" = 1'-0"



**A1** 3D View - NW  
1" = 1'-0"

ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
- Acme Pacific Clay - Chino or comparable color



ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.  
- Acme Pacific Clay - Morro Rock or comparable color



ADHERED VENEER STONE OVER CONCRETE TILT PANEL.  
- Natural Stone Veneers - Heritage Manor or comparable color



STUCCO  
- Tremco - Dark Bronze or comparable color

STANDING SEAM METAL ROOF  
Black or comparable color  
FLAT ROOF BEHIND PARAPET  
TPO - Light Gray or comparable color

**A4** Materials  
1" = 1'-0"

**ROOM SCHEDULE**

Department	ROOM NUMBER	ROOM NAME	AREA
AUDITOR	170	CIRCULATION	631 SF
AUDITOR	172	DIRECTOR	199 SF
AUDITOR	171	MANAGER	123 SF
AUDITOR	173	SUPERVISOR	163 SF
AUDITOR	174	SUPERVISOR	161 SF
AUDITOR	170C	WORKSTATION	64 SF
AUDITOR	170A	WORKSTATION	62 SF
AUDITOR	170E	WORKSTATION	64 SF
AUDITOR	170D	WORKSTATION	62 SF
AUDITOR	170F	WORKSTATION	61 SF
AUDITOR	170B	WORKSTATION	65 SF
CIRCULATION	101	CIRCULATION	1,655 SF
CIRCULATION	140	CIRCULATION	2,486 SF
CIRCULATION	100	ENTRY	158 SF
COMMON/SUPPORT	163	BREAK ROOM	3,192 SF
COMMON/SUPPORT	105	DATA	498 SF
COMMON/SUPPORT	141E	ELEC	80 SF
COMMON/SUPPORT	166	ELECTRICAL	132 SF
COMMON/SUPPORT	141F	FIRE RISER	124 SF
COMMON/SUPPORT	106	JAN	64 SF
COMMON/SUPPORT	161	MAIL	80 SF
COMMON/SUPPORT	102	MEETING	215 SF
COMMON/SUPPORT	103	MEN'S RR	191 SF
COMMON/SUPPORT	121	RESTROOM	257 SF
COMMON/SUPPORT	144	STAFF RESTROOM	76 SF
COMMON/SUPPORT	143	STAFF RESTROOM	74 SF
COMMON/SUPPORT	142	WELLNESS ROOM	75 SF
COMMON/SUPPORT	104	WOMEN'S RR	91 SF
ELECTIONS	150	CIRCULATION	251 SF
ELECTIONS	154	DIRECTOR	2,208 SF
ELECTIONS	151	ELECTIONS STORAGE	348 SF
ELECTIONS	153	SUPERVISOR	196 SF
ELECTIONS	152	SUPERVISOR	2,516 SF
ELECTIONS	150C	WORKSTATION	145 SF
ELECTIONS	150D	WORKSTATION	145 SF
ELECTIONS	150E	WORKSTATION	64 SF
ELECTIONS	150A	WORKSTATION	64 SF
ELECTIONS	150B	WORKSTATION	64 SF
ENVIRONMENTAL HEALTH	130	CIRCULATION	64 SF
ENVIRONMENTAL HEALTH	133	DIRECTOR	64 SF
ENVIRONMENTAL HEALTH	132	SUPERVISOR	64 SF
ENVIRONMENTAL HEALTH	131	WORKSTATION	64 SF
GIS	135	CIRCULATION	643 SF
GIS	137	DIRECTOR	133 SF
GIS	136	SUPERVISOR	193 SF
INDIGENT HEALTH	122	CIRCULATION	112 SF
INDIGENT HEALTH	123	DIRECTOR	438 SF
INDIGENT HEALTH	120	LOBBY	231 SF
INDIGENT HEALTH	122S	STORAGE	147 SF
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MULTI-PURPOSE	160S	CHAIR STORAGE	87 SF
MULTI-PURPOSE	160	MULTI-PURPOSE	107 SF
STORAGE	134	STORAGE	679 SF
TAX OFFICE	112	BACK OF HOUSE	174 SF
TAX OFFICE	116	DIRECTOR	2,020 SF
TAX OFFICE	115	MANAGER	2,194 SF
TAX OFFICE	162	RECEIVING	1,032 SF
TAX OFFICE	117	STORAGE	1,032 SF
TAX OFFICE	114	SUPERVISOR	1,032 SF
TAX OFFICE	113	TRANSACTION DESKS	208 SF
TAX OFFICE	111	TRANSACTION DESKS	209 SF
TAX OFFICE	110	WAITING	128 SF
VETERAN SERVICES	125	CIRCULATION	299 SF
VETERAN SERVICES	126	DIRECTOR	671 SF
Grand total:			162 SF
			493 SF
			416 SF
			1,141 SF
			3,727 SF
			257 SF
			203 SF
			460 SF
			19,896 SF

**SIGNATURE BLOCK**

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

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PARKHILL

12/5/2023

Parkhill.com

Rockwall County Annex



**CLIENT**  
Rockwall County  
1111, E Yellow Jacket Ln  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**ROCKWALL COUNTY ANNEX**

12/01/2023 Site Plan

# DATE DESCRIPTION

CASE NUMBER: SP-2023-034

**3D Views**  
**A-900**





**D1** 3D View - SE  
1" = 1'-0"



**C1** 3D View - SW  
1" = 1'-0"



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Planning & Zoning Commission, Chairman

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PARKHILL

12/5/2023

Parkhill.com

Rockwall County Annex



CLIENT  
Rockwall County

1111, E Yellow Jacket Ln  
Rockwall, TX 75037

PROJECT NO.  
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ROCKWALL COUNTY ANNEX

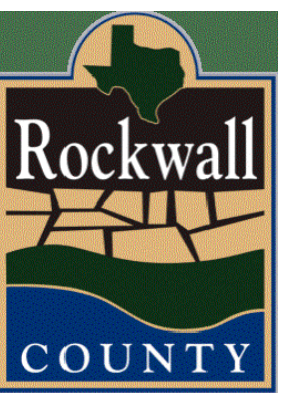
12/01/2023 Site Plan

# DATE DESCRIPTION

CASE NUMBER: SP-2023-034

3D Views  
**A-900**





**CLIENT**  
Rockwall County

1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**  
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition Plat Cabinet "H" Slide 131 Case Number: SP2023-034 Proposed Land Use: Commercial

**Designer Information:**  
Name: Parkhill  
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

**Owner Contact Information:**  
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

City of Rockwall Landscape Requirements			
ORD. REF.	DESCRIPTION	REQUIRED	PROVIDED
SEC 05.01.A	Required Landscaped Area	Limit of Construction Boundary = 78,645 S.F. <b>REQUIRED: 20% = 15,729 S.F.</b>	<b>31.4% (24,711 SF Provided)</b>
SEC 05.01.B	Non-Residential Landscape Buffer	10' wide buffer along entire length of non residential lot w/ 1 canopy and 1 accent trees per 50' along Yellowjacket Lane: (377' frontage / 50) = 8 canopy trees & 8 accent trees, 30" tall shrubbery.	<b>15' wide landscape buffer w/ 30" height shrubbery, 16 Accent Trees. Exception requested to substitute 8 Canopy Trees for 8 Accent Trees in Buffer due to overhead power line along Yellowjacket Lane.</b>
SEC 05.03.E.1	Interior Parking Lot Area Landscape Area	5% of Parking Area = 18,006 SF x .05 = 901 SF	<b>16.1% (2,915 SF)</b>
SEC 05.03.E.2	Interior Parking Lot Area Trees	1 Canopy Tree per 10 spaces = 44 Parking Spaces / 10 = 3 Proposed Parking Lot Trees, 2 Existing Parking Lot Trees	<b>3 Proposed Parking Lot Trees, 2 Existing Parking Lot Trees</b>
SEC 05.01.01.B	Impervious Area versus the Landscaped Area	Impervious Area: 53,934 SF Landscaped Area: 24,711 SF	

### GENERAL NOTES

- SEE SHEET LP102 FOR FULL PLANTING SCHEDULE.
- SEE SHEETS LD501-502 FOR PLANTING DETAILS.
- SEE SHEET LP102 FOR PLANTING GENERAL NOTES.
- FULL LANDSCAPE IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL PROPOSED PLANTING AREAS INDICATED. IRRIGATION WILL MEET REQUIREMENTS OF THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.**

**LANDSCAPE EXCEPTION REQUESTED TO SUBSTITUTE 8 ACCENT TREES FOR THE 8 CANOPY TREES REQUIRED ALONG EAST YELLOW JACKET LANE DUE TO THE EXISTING OVERHEAD POWER LINE IN RIGHT OF WAY. THE TWO PROPOSED COMPENSATORY MEASURES INCLUDE:**

- 15-FOOT WIDE LANDSCAPE BUFFER PROVIDED ALONG EAST YELLOW JACKET LANE INSTEAD OF THE ORDINANCE REQUIRED 10-FOOT WIDE BUFFER.
- 31.4% (2,711 SF) OF REQUIRED LANDSCAPE AREA PROVIDED INSTEAD OF THE ORDINANCE REQUIRED 20% (15,729 SF).

### KEY NOTES

- AS INDICATED BY: (00)
- 12" CONCRETE LANDSCAPE EDGE PER B4/LD501.
  - LANDSCAPE EDGE PER C5/LD501.
  - EXISTING TREE TO BE PRESERVED AND PROTECTED PER A1/LD502.
  - PLANTING BED TO RECEIVE 3" DEPTH SHREDDED HARDWOOD MULCH AS SPEC'D.

### LEGEND

NON RESIDENTIAL LANDSCAPE BUFFER:  
15' WIDE PROVIDED ALONG E YELLOW JACKET LANE

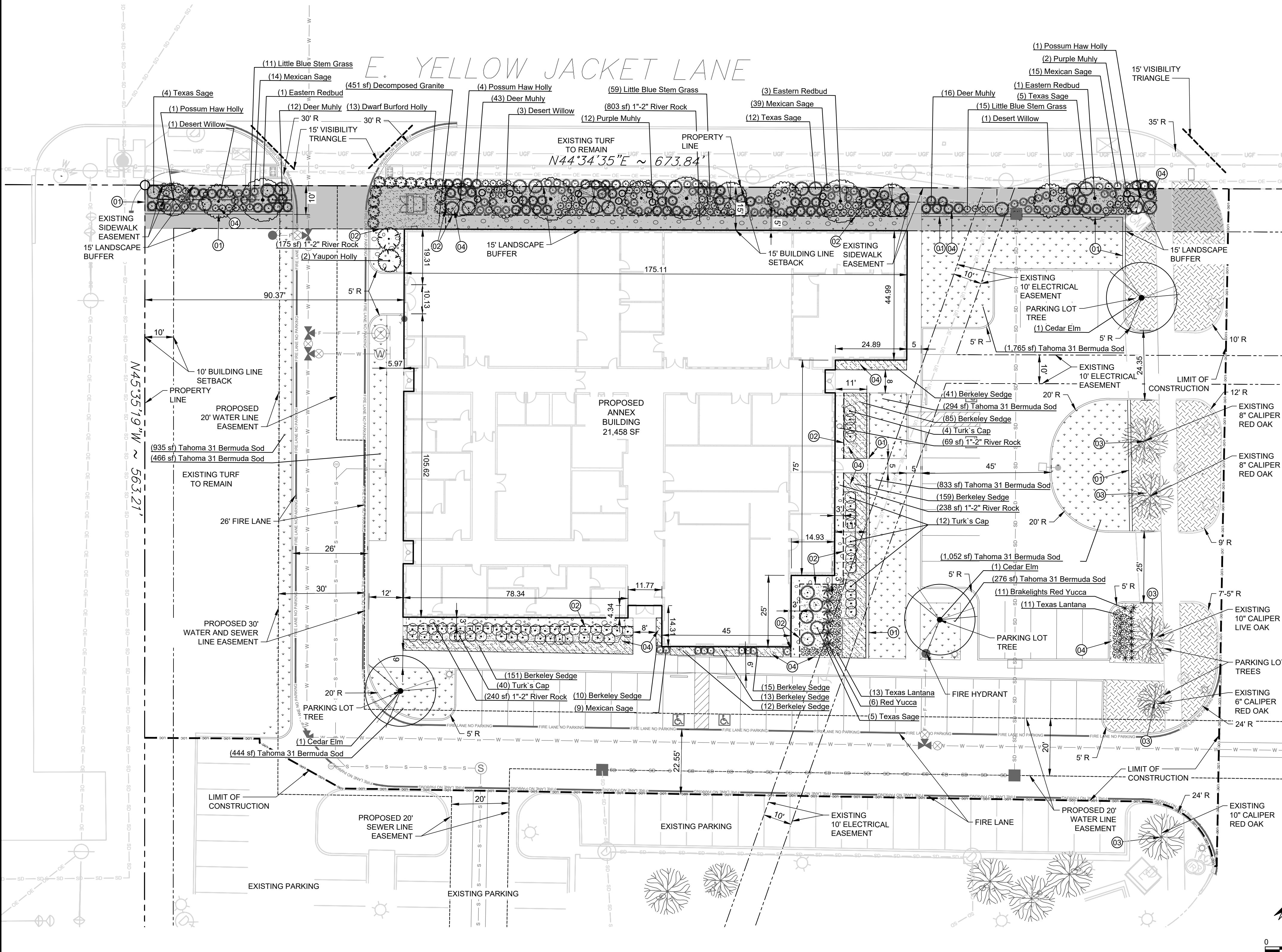
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Planning & Zoning Commission, Chairman      Director of Planning and Zoning

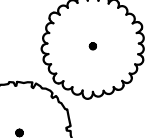
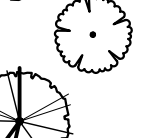

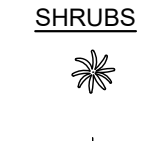
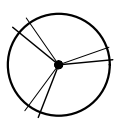
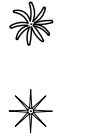
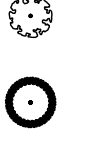


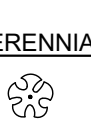



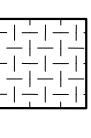
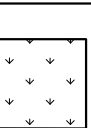


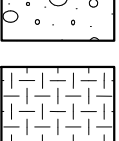
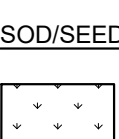

### ABBREVIATED PLANT SCHEDULE

ACCENT TREES	QTY	COMMON / BOTANICAL NAME
(1) Desert Willow	5	DESERT WILLOW CHILOPSIS LINEARIS
(1) Eastern Redbud	5	EASTERN REDBUD CERCIS CANADENSIS
(1) Yaupon Holly	2	YAUPOON HOLLY ILEX VOMITORIA
(1) Possum Haw Holly	6	POSSUM HAW HOLLY ILEX DECIDUA
CANOPY TREES	QTY	COMMON / BOTANICAL NAME
(1) Cedar Elm	3	CEDAR ELM ULMUS CRASSIFOLIA
SHRUBS	QTY	COMMON / BOTANICAL NAME
(1) Red Yucca	6	RED YUCCA HESPERALOE PARVIFLORA
(1) Brakelights Red Yucca	11	BRAKELIGHTS RED YUCCA HESPERALOE PARVIFLORA 'BRAKELIGH'
(1) Dwarf Burford Holly	13	DWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDI NANA'
(1) Texas Sage	26	TEXAS SAGE LEUCOPHYLLUM LANGMANIAE 'LYNN'S'
(1) Mexican Sage	77	MEXICAN SAGE SALVIA LEUCANTHA
ORNAMENTAL GRASSES	QTY	COMMON / BOTANICAL NAME
(1) Deer Muhly	71	DEER MUHLY MUHLENBERGIA RIGENS
(1) Purple Muhly	14	PURPLE MUHLY MUHLENBERGIA RIGIDA 'NASHVILLE' TM
(1) Little Blue Stem Grass	85	LITTLE BLUE STEM GRASS SCHIZACHYRIUM SCOPARIUM
PERENNIALS	QTY	COMMON / BOTANICAL NAME
(1) Texas Lantana	24	TEXAS LANTANA LANTANA URTICOIDES
(1) Turk's Cap	56	TURK'S CAP MALVAVISCUS DRUMMONDII
ORNAMENTAL GRASS AREA	QTY	COMMON / BOTANICAL NAME
(1) Berkeley Sedge	486	BERKELEY SEDGE CAREX DIVULSA
GROUND COVERS	QTY	COMMON / BOTANICAL NAME
(1) Decomposed Granite	451 SF	DECOMPOSED GRANITE DECOMPOSED GRANITE
(1) 1"-2" River Rock	1,525 SF	1"-2" RIVER ROCK 1"-2" RIVER ROCK
(1) Shredded Hardwood Mulch	5,141 SF	SHREDDED HARDWOOD MULCH SHREDDED HARDWOOD MULCH
SOD/SEED	QTY	COMMON / BOTANICAL NAME
(1) Tahoma 31 Bermuda Sod	6,065 SF	TAHOMA 31 BERMUDA SOD CYNODON DACTYLON 'TAHOMA 31'
(1) Existing Planting Bed	3,380 SF	EXISTING PLANTING BED EXISTING PLANTING BED





**PLANT SCHEDULE**

ACCENT TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	5	DESERT WILLOW	CHILOPSIS LINEARIS	25 GAL	2" CAL	6' - 8' HT
	5	EASTERN REDBUD	CERCIS CANADENSIS	25 GAL	2" CAL	6' - 8' HT
	2	YAUPON HOLLY	ILEX VOMITORIA	15 GAL	N/A	6' HT.
	6	POSSUM HAW HOLLY	ILEX DECIDUA	15 GAL	N/A	6' HT.
CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	3	CEDAR ELM	ULMUS CRASSIFOLIA	B & B	4" CAL	12'-14' HT.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	6	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL		
	11	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM	5 GAL		
	13	DWARF BURFORD HOLLY	ILLEX CORNUTA 'BURFORDII NANA'	7 GAL	30" HT.	
	26	TEXAS SAGE	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	7 GAL	30" HT.	
	77	MEXICAN SAGE	SALVIA LEUCANTHA	5 GAL		
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	71	DEER MUHLY	MUHLENBERGIA RIGENS	5 GAL		
	14	PURPLE MUHLY	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	5 GAL		
	85	LITTLE BLUE STEM GRASS	SCHIZACHYRIUM SCOPARIUM	5 GAL		
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	24	TEXAS LANTANA	LANTANA URTICOIDES	1 GAL.		
	56	TURK'S CAP	MALVAVISCUS DRUMMONDII	1 GAL.		
ORNAMENTAL GRASS AREA	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	486	BERKELEY SEDGE	CAREX DIVULSA	1 GAL		
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	451 SF	DECOMPOSED GRANITE	DECOMPOSED GRANITE	3" DEPTH		
	1,525 SF	1"-2" RIVER ROCK	1"-2" RIVER ROCK	4" DEPTH		
	5,141 SF	SHREDDED HARDWOOD MULCH	SHREDDED HARDWOOD MULCH	3" DEPTH		
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	6,065 SF	TAHOMA 31 BERMUDA SOD	CYNODON DACTYLON 'TAHOMA 31'	SOLID SOD		

**PLANTING GENERAL NOTES**

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. IF ANY SOURCE OF PLANTS IS LOCATED FURTHER THAN 30 MILES FROM THE PROJECT SITE THE CONTRACTOR WILL BE REQUIRED TO PAY TIME AND TRAVEL EXPENSES INCURRED BY THE PROJECT LANDSCAPE ARCHITECT.
- L. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- M. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- N. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- O. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- P. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N):1(P):2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- Q. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- R. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- S. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- T. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- U. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- V. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- W. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- X. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES 12 FEET OR TALLER.
- Y. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Z. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTALLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- AA. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

**SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2023.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

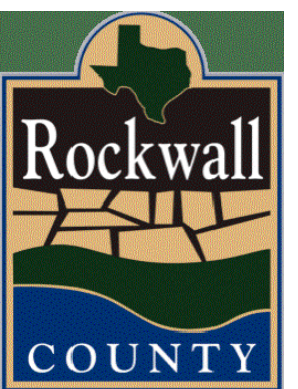
\_\_\_\_\_  
Director of Planning and Zoning



THIS DOCUMENT IS RELEASED ON NOVEMBER 7, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A., TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Rockwall County Annex



**CLIENT**  
Rockwall County

1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**  
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
Plat Cabinet "H" Slide 131  
Case Number: SP2023-034  
Proposed Land Use: Commercial

Designer Information:  
Name: Parkhill  
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

Owner Contact Information  
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

# DATE DESCRIPTION

**Planting Notes & Schedule**  
**LP102**



**SIGNATURE BLOCK**

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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

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 Phone Number: 972-204-6000

\* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.

UNDISTURBED SOIL



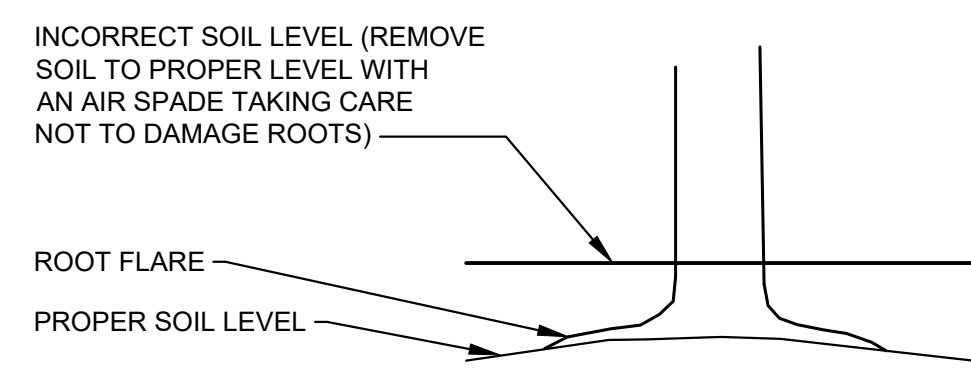
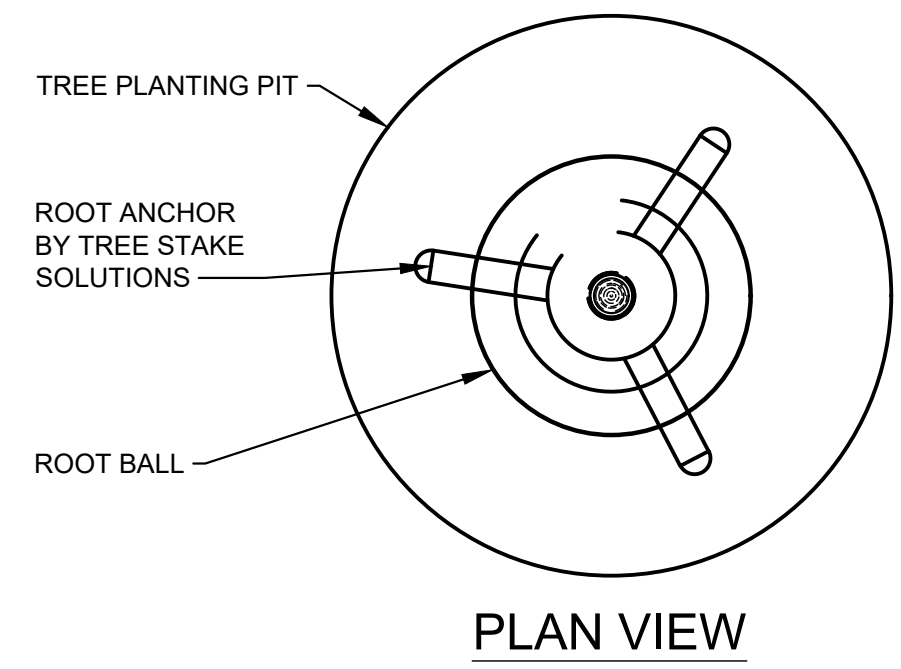
**NOTES:**

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
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6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

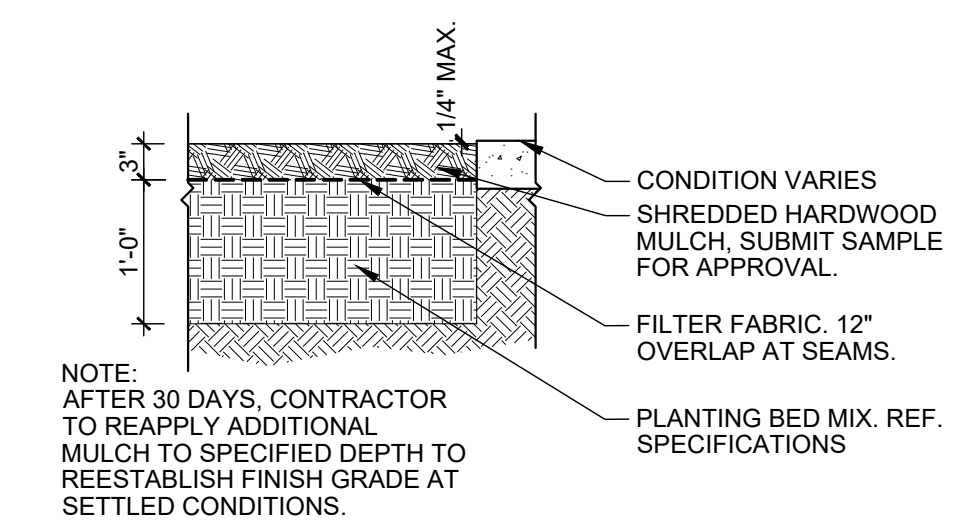
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SEE NOTE #1.

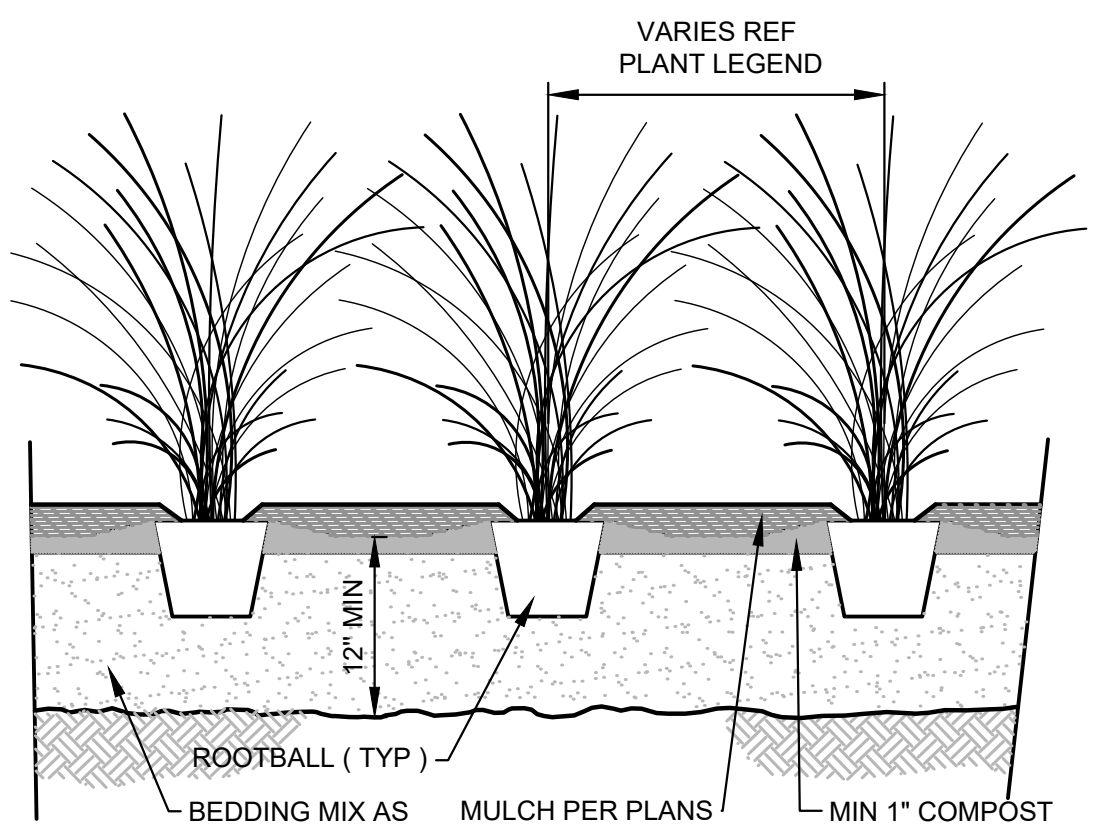
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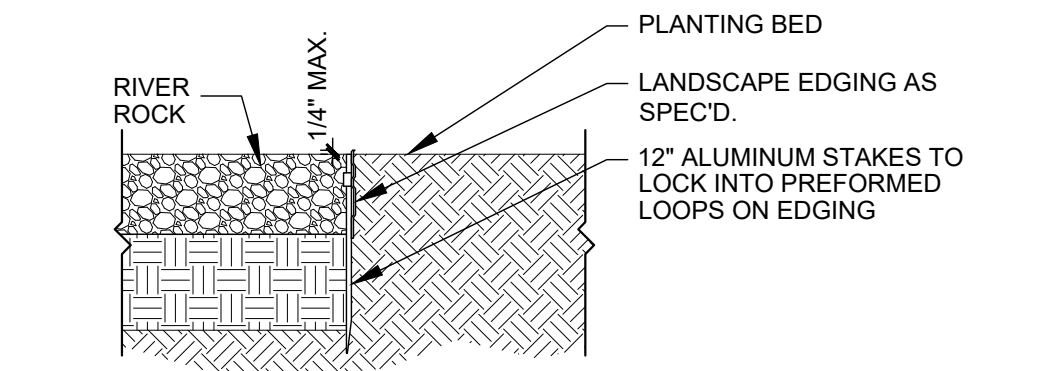
**EXPOSED COVERED ROOT FLARE**



**D4 MULCH**  
 3/4"=1'-0" L\_MULCH

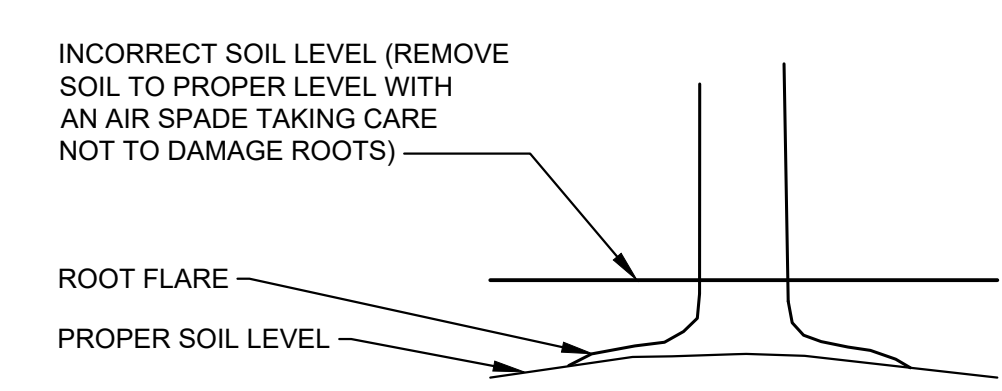
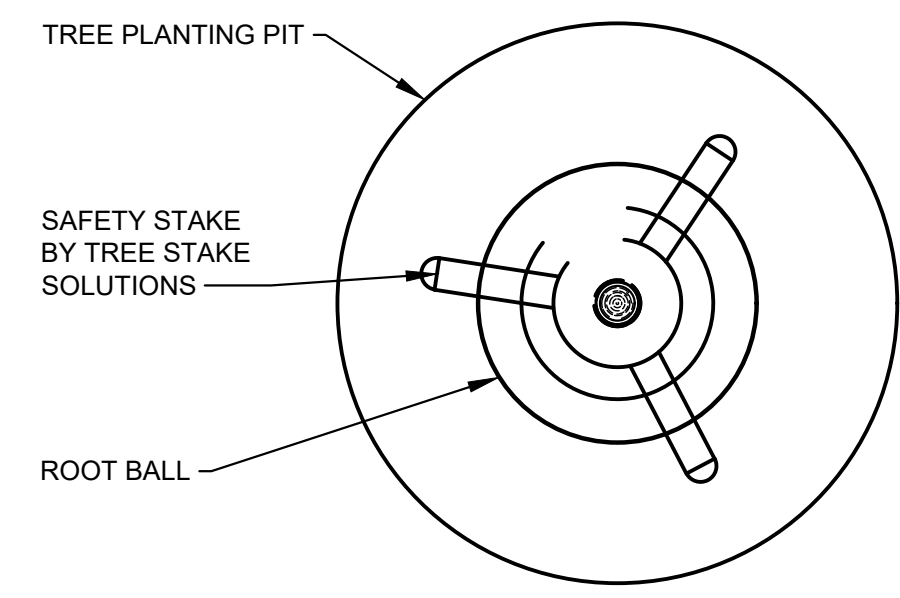


**C4 ORNAMENTAL GRASS PLANTING**  
 1"=1'-0" L\_ORNAMENTAL\_GRASS\_PLANTING



**C5 LANDSCAPE EDGE**  
 1"=1'-0" LNSCAPE\_EDGE

**C1 MULTI-TRUNK TREE PLANTING AND ANCHORING**  
 1/2"=1'-0"



**EXPOSED COVERED ROOT FLARE**

\* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

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SAFETY STAKE BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE SAFETY STAKE AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143 (ALSO, SEE PLAN VIEW ABOVE)

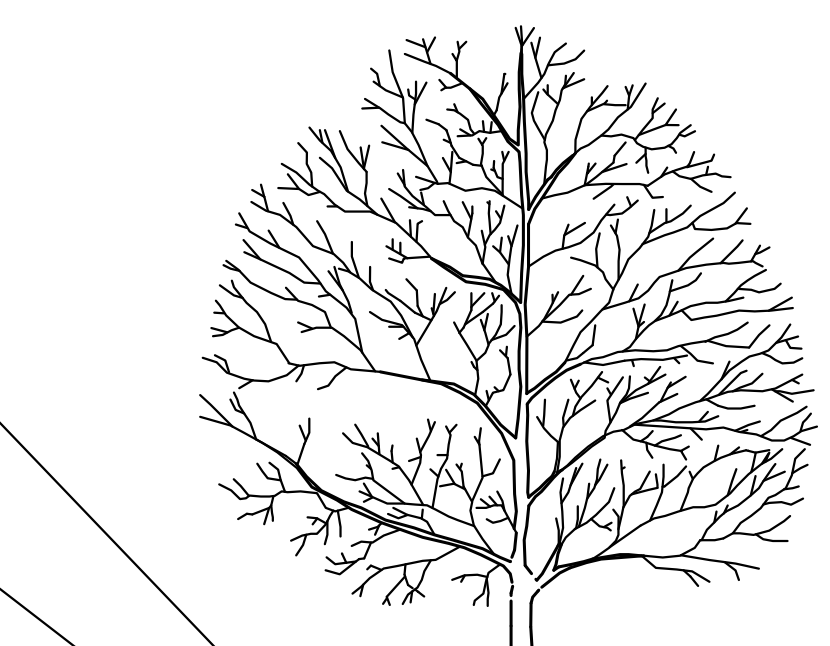
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UNDISTURBED SOIL



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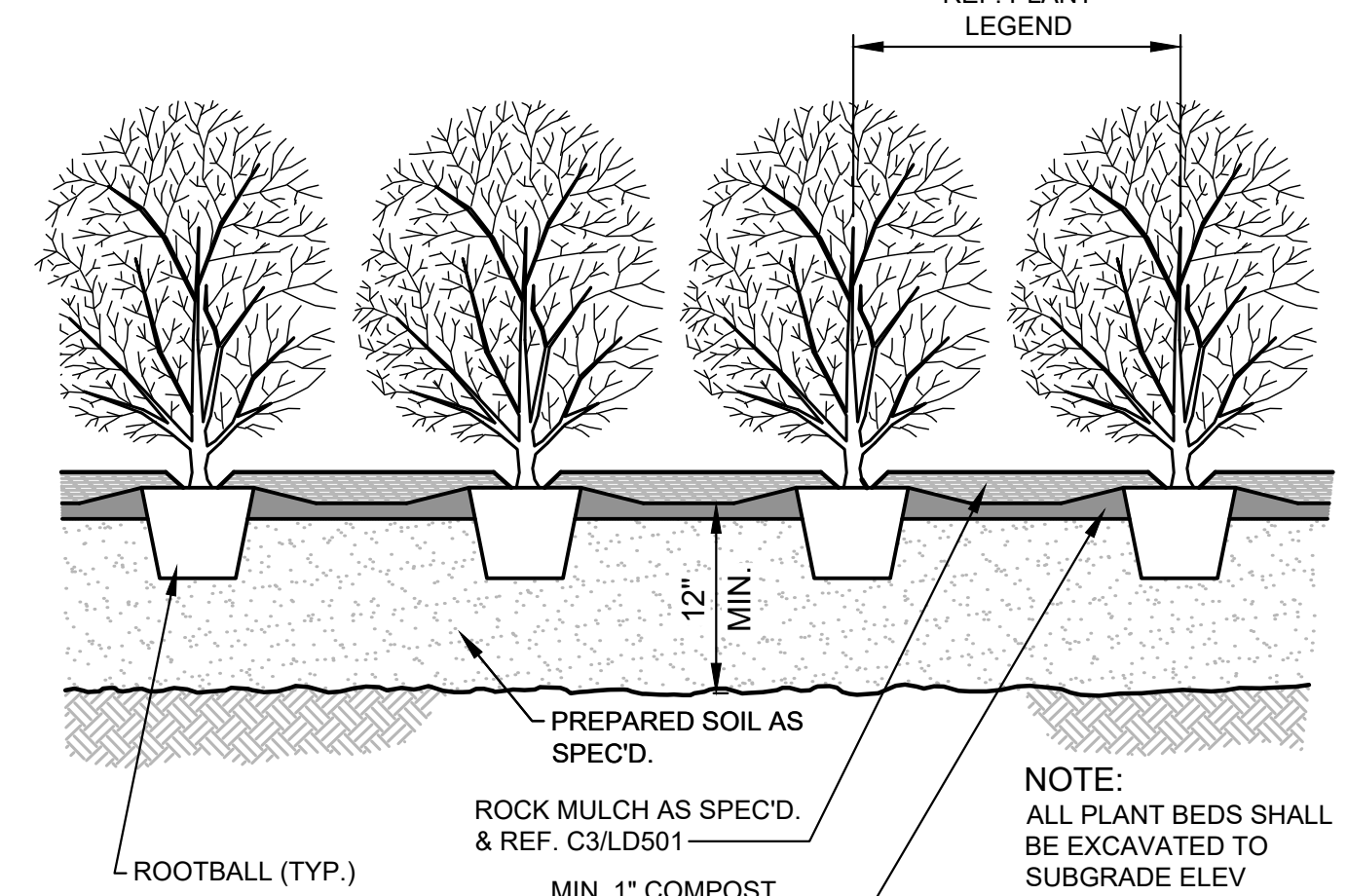
SEE NOTE #1.

CLARK'S TREE WRAP AS SPEC'D, OR APPROVED EQUAL, SEE NOTE #6 FOR MORE INFORMATION.

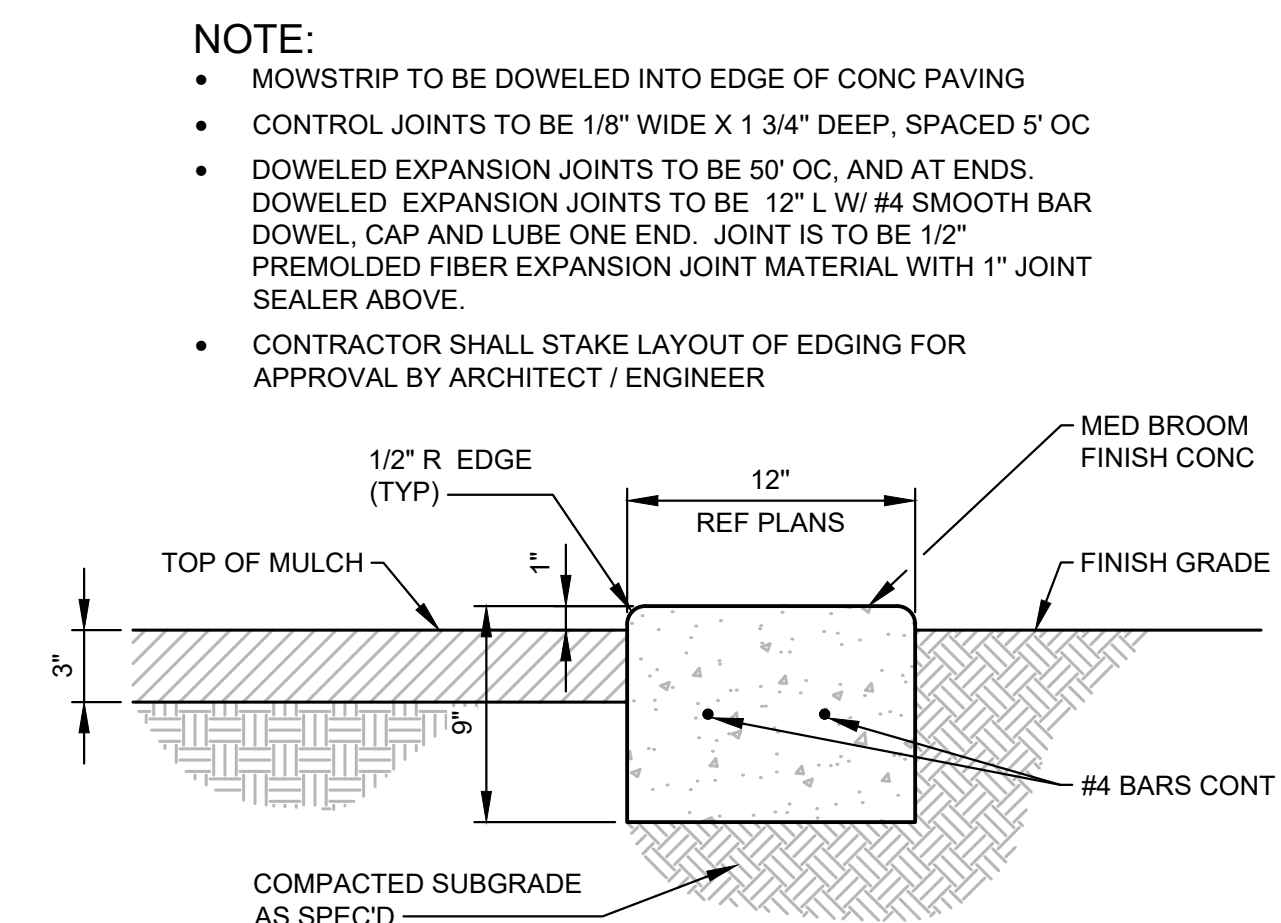
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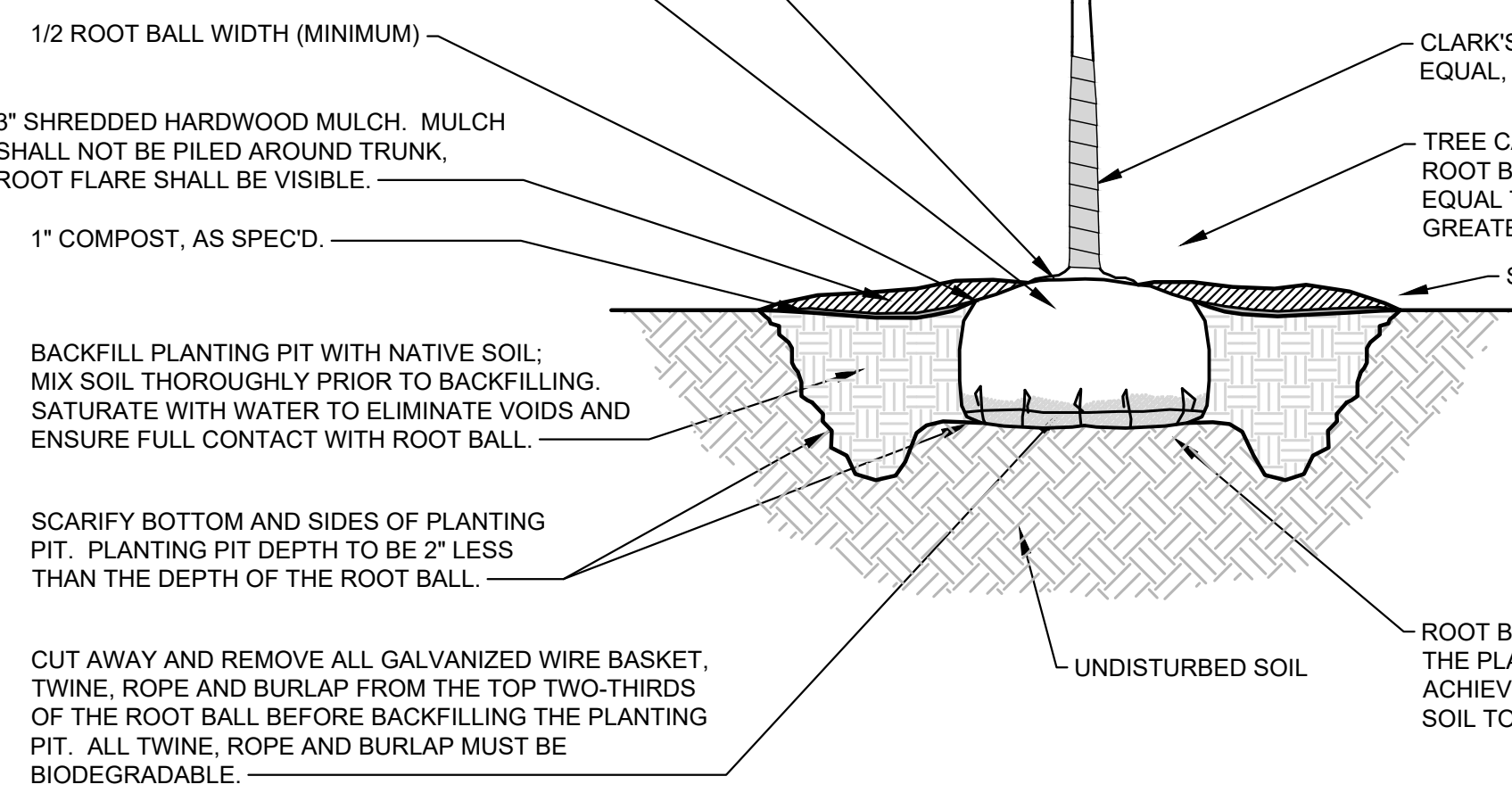
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**B3 SHRUB PLANTING**  
 1"=1'-0" L\_PLANTING\_SHRUB

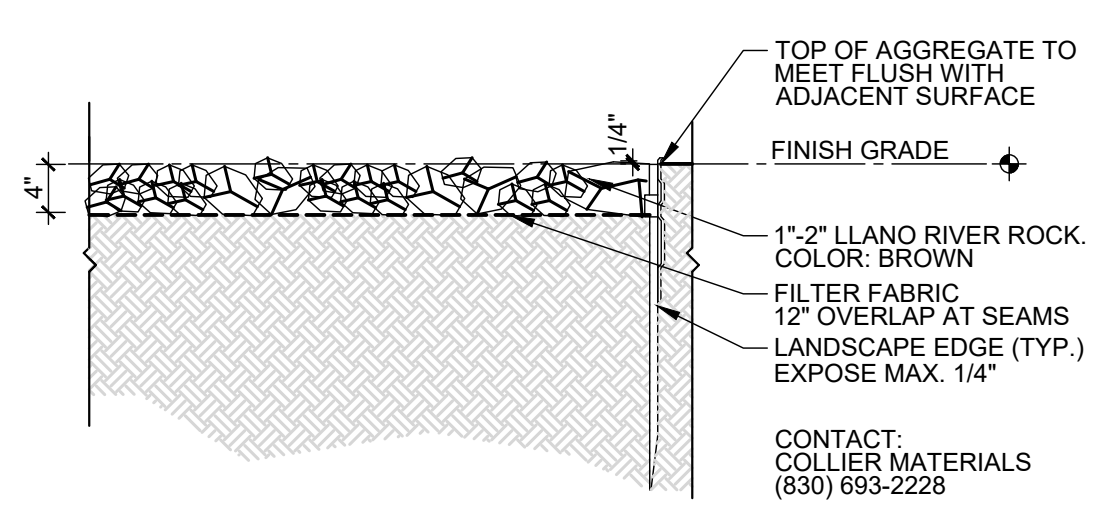


**B4 12" CONCRETE LANDSCAPE EDGE**  
 1 1/2" = 1'-0" PVMT\_CONC\_MOWSTRIP\_LANDSCAPE\_EDGE

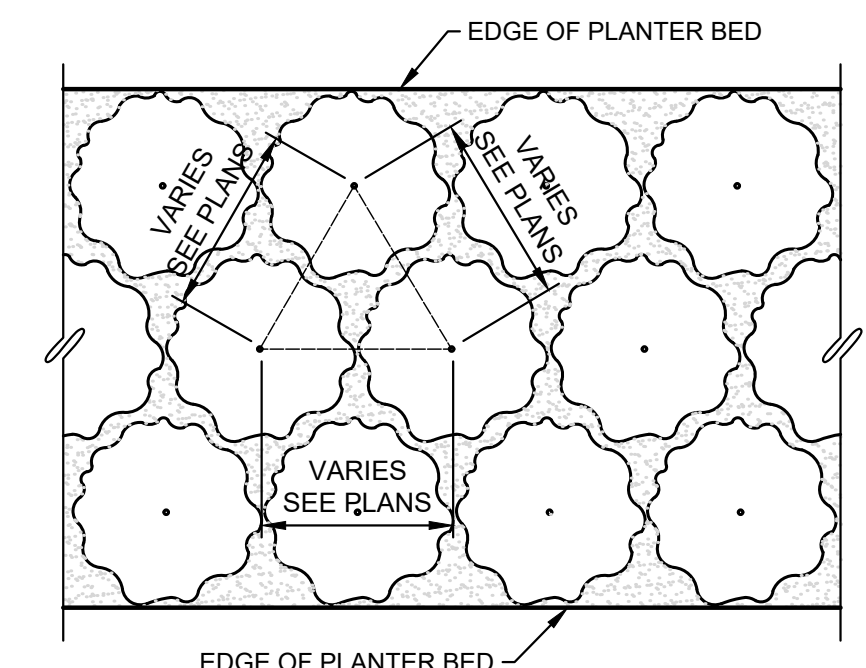


**NOTES:**

1. UPON COMPLETION OF ROUGH GRADING, CONTRACTOR SHALL DIG TEST TREE PITS ACROSS THE SITE. THE TEST PITS SHALL BE FILLED WITH WATER AND OBSERVED FOR DRAINAGE. IF THE PIT HOLDS WATER FOR GREATER THAN 24 HOURS, THE TREE LOCATIONS AND/OR SPECIES WILL BE REVISED.



**A3 RIVER ROCK - 1-2"**  
 3/4"=1'-0" RRCK



**A4 PLANT LAYOUT**  
 1/2"=1'-0" L\_PLANT\_LAYOUT

**A1 TREE PLANTING AND STAKING**  
 1/2"=1'-0" L\_PLANTING\_TREE\_STANDARD

A:\2023\11987.22\03\_DSGND1\_DWG\060\_LAND\03\_SHEETS\LD501-11987.DWG, 11/6/2023 5:23 PM, ghuffaker



**SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**CLIENT**  
Rockwall County  
1111 E Yellowjacket Lane  
Rockwall, TX 75037

**PROJECT NO.**  
11987.22

**KEY PLAN**  
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
Plat Cabinet "H" Slide 131  
Case Number: SP2023-034  
Proposed Land Use: Commercial

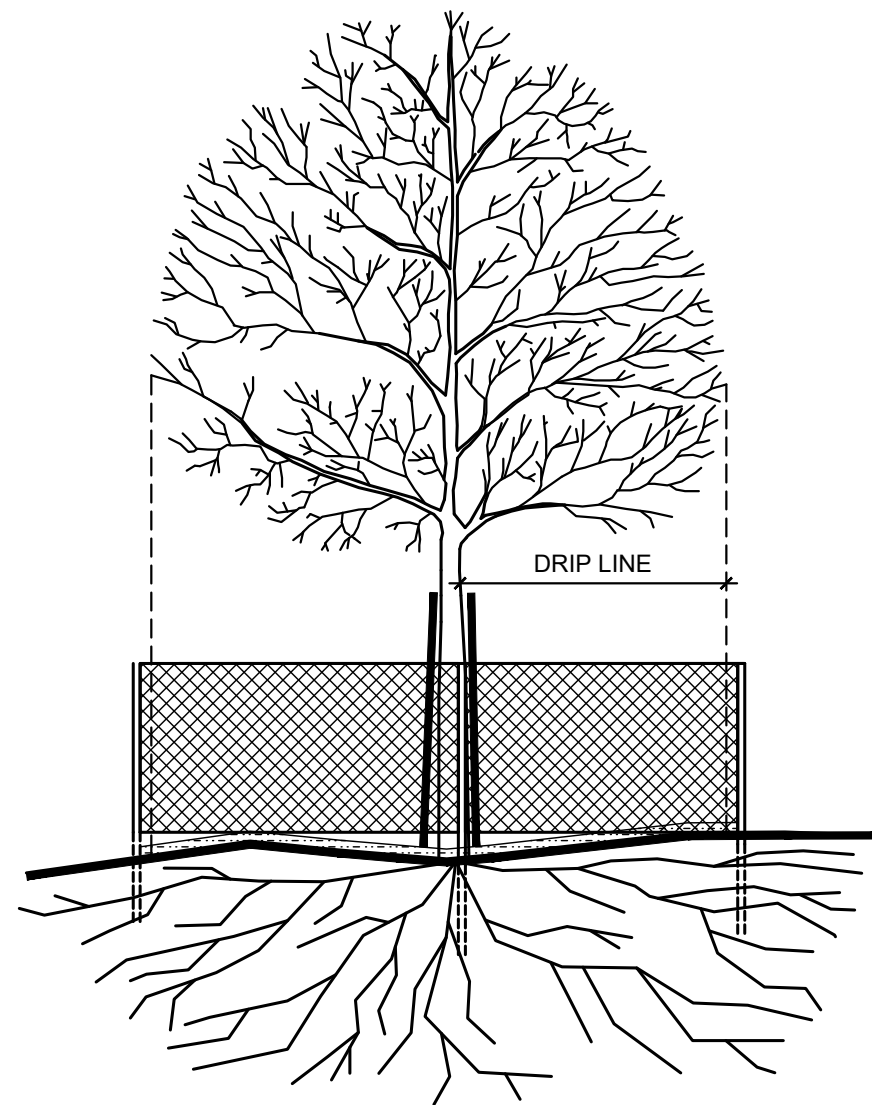
**Designer Information:**  
Name: Parkhill  
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
Phone Number: 972-987-1670

**Owner Contact Information**  
Name: Rockwall County  
Address: 101 East Rusk Street, Rockwall, Texas, 75087  
Phone Number: 972-204-6000

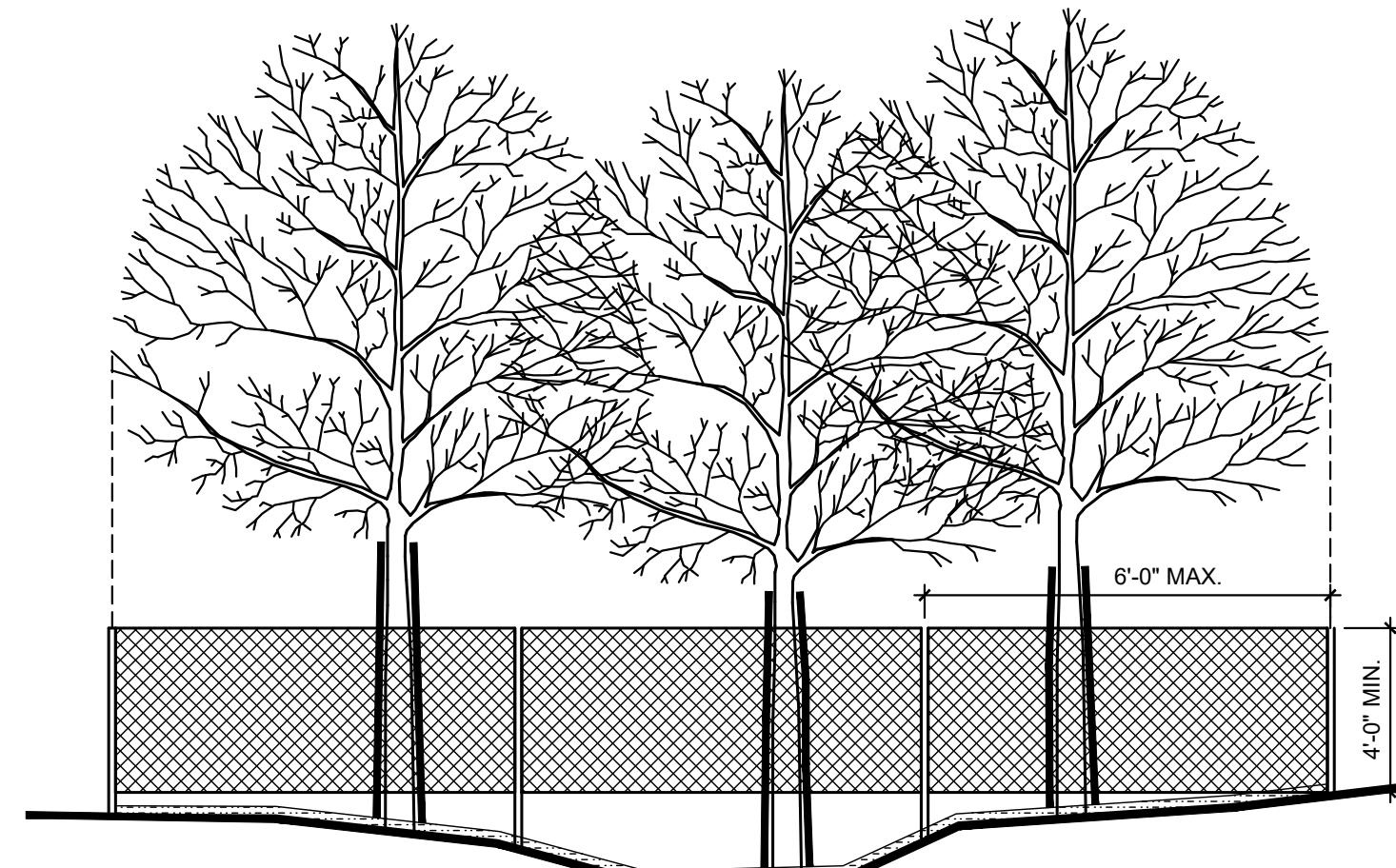
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

# DATE DESCRIPTION

**SINGLE TREE**



**TREE CLUSTER**



**\*THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.**

- MATERIAL STORAGE:** NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
- TREE ATTACHMENTS:** NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC:** NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- GRADE CHANGES:** PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
- IMPERVIOUS PAVING:** NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
- ROOT PRUNING:** ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

**\*CRITICAL ROOT ZONE:**

THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

**DRIP LINE:**

A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

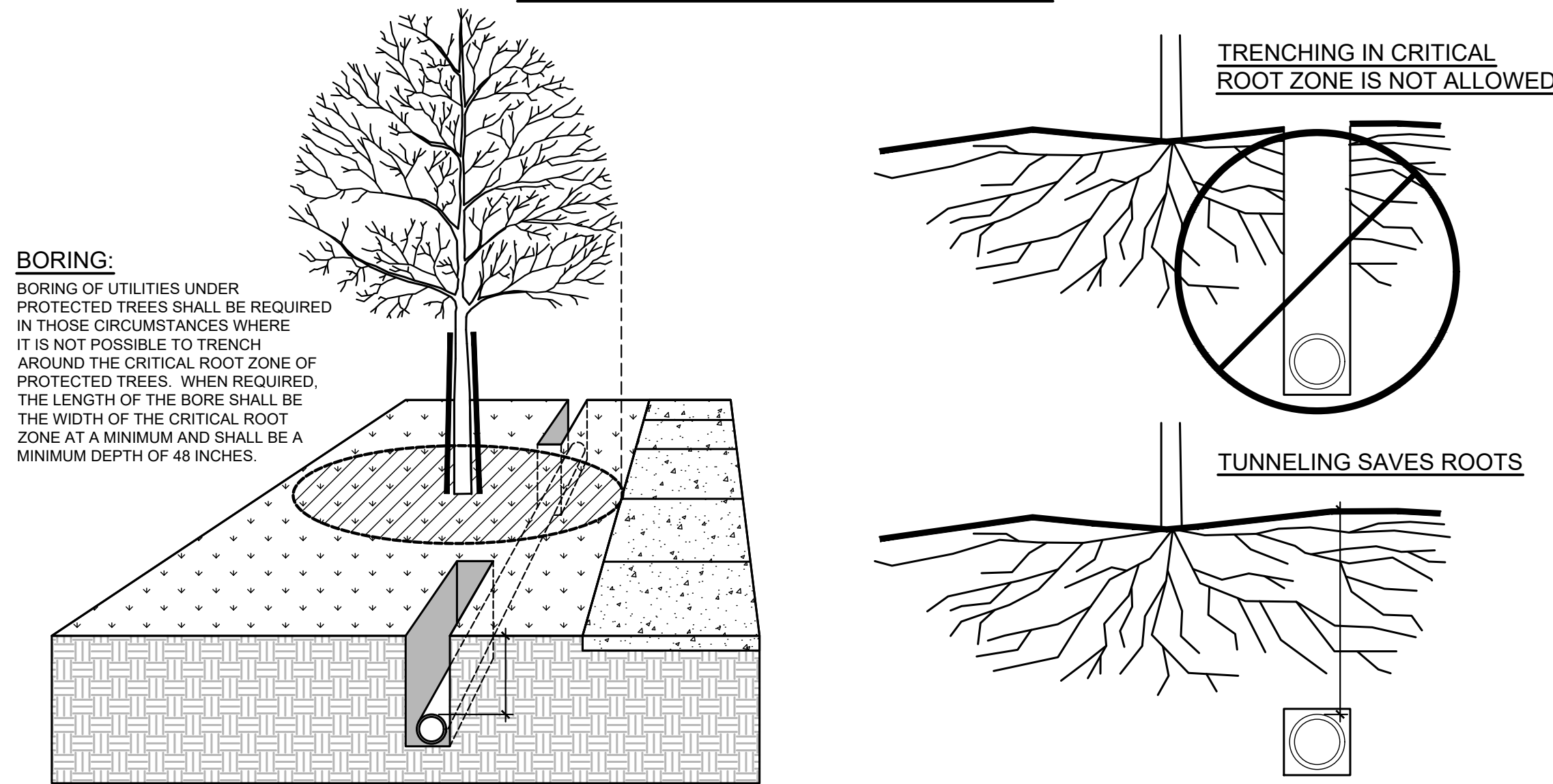
**PROTECTIVE FENCING:**

ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

**TREE PROTECTION NOTES**

- THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

**TREE TRENCHING AND TUNNELING**



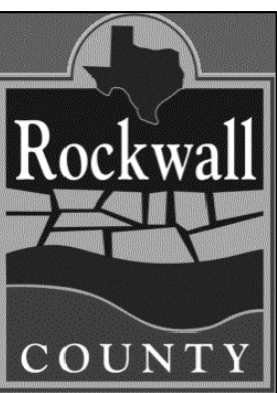
**BORING:**

BORING OF UTILITIES UNDER PROTECTED TREES SHALL BE REQUIRED IN THOSE CIRCUMSTANCES WHERE IT IS NOT POSSIBLE TO TRENCH AROUND THE CRITICAL ROOT ZONE OF PROTECTED TREES. WHEN REQUIRED, THE LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AT A MINIMUM AND SHALL BE A MINIMUM DEPTH OF 48 INCHES.

**TREE TRENCHING AND TUNNELING NOTES**

- IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY; AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.





**CLIENT**  
**Rockwall County**  
 1111 E Yellowjacket Lane  
 Rockwall, TX 75037

**PROJECT NO.**  
 11987.22

**KEY PLAN**  
 Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition  
 Plat Cabinet "H" Slide 131  
 Case Number: N/A  
 Proposed Land Use: Commercial

**Designer Information:**  
 Name: Parkhill  
 Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034  
 Phone Number: 972-987-1670

**Owner Contact Information**  
 Name: Rockwall County  
 Address: 101 East Rusk Street, Rockwall, Texas, 75087  
 Phone Number: 972-204-6000

#	DATE	DESCRIPTION
1	10/20/2023	Site Plan Submittal

PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
<b>TOTAL SPACES</b>	<b>72</b>	<b>73</b>

**KEY NOTES**

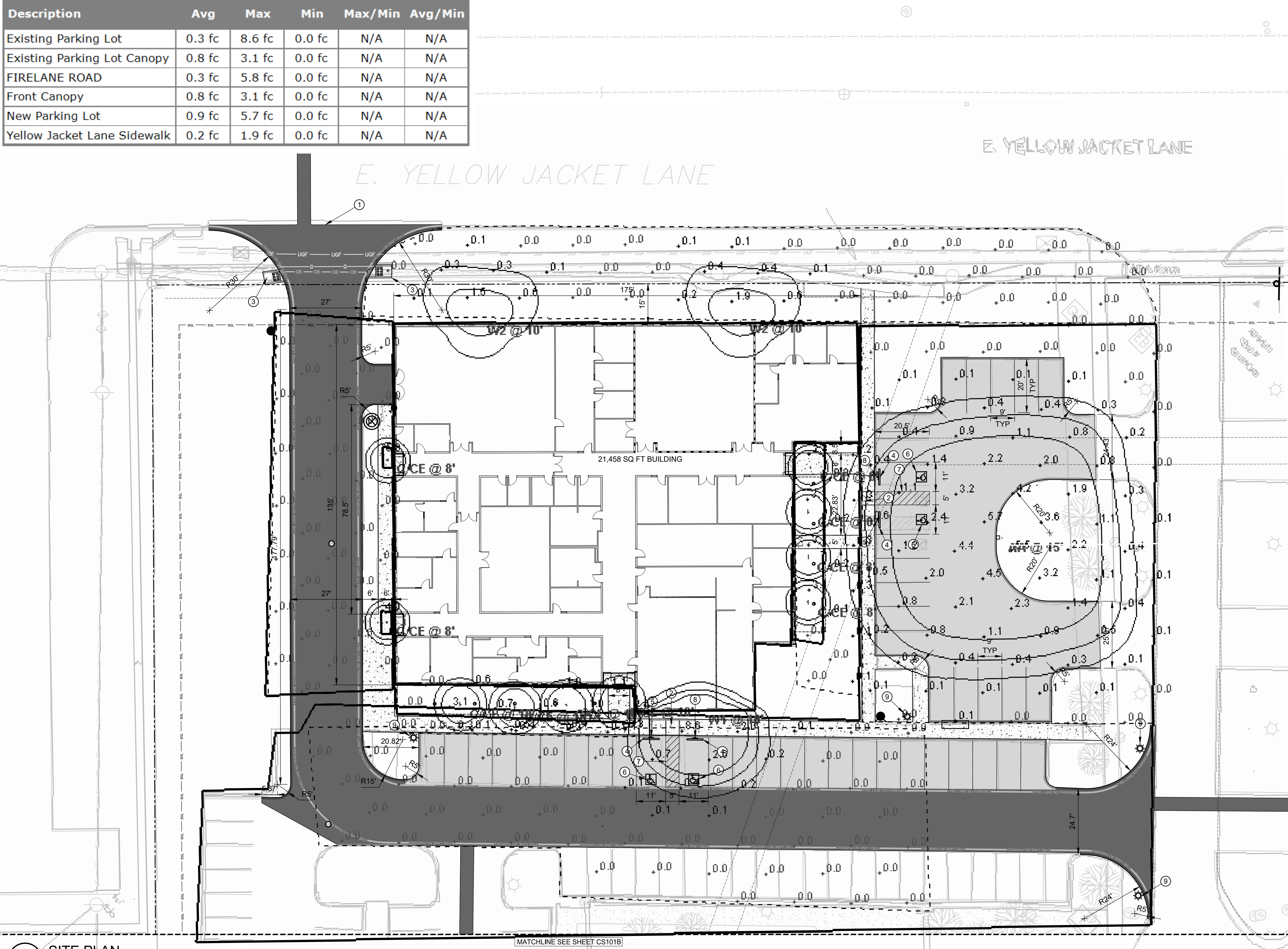
- AS INDICATED BY: (C)
1. DRIVEWAY - SEE DETAIL XX/CS501
  2. PARALLEL CURB RAMP - SEE DETAIL B4/CS501
  3. STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
  4. PARKING BLOCK - SEE DETAIL B3/CS501
  5. HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
  6. HANDICAP MARKING - SEE DETAIL A3/CS502
  7. ACCESS AISLE MARKING - SEE DETAIL A2/CS502
  8. HANDICAP SIGN - SEE DETAIL A1/CS502
  9. RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.

**SITE PLAN NOTES**

- A. FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
- B. FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION. XXX-XXX-XXXX.
- C. INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
- D. STRIPING WIDTH = 4". STRIPE COLOR = WHITE, HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW), PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
- E. CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
- F. LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
- G. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- H. FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- I. EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
- J. DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
- K. DO NOT INSTALL STEEL REINFORCEMENT IN CONCRETE LOCATED WITHIN THE PUBLIC RIGHT OF WAY. USE FIBER MESH PER CITY REQUIREMENTS.
- L. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- M. CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	W1		1	Lithonia Lighting	WST LED P3 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	1	6609	0.8	50
□	W2		2	Lithonia Lighting	WST LED P1 40K MvOLT	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1	1568	0.8	11.47
○	C/CE		10	Lithonia Lighting	LDN6 40/07 L06AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180	1	679	0.8	8.91
□	AA		1	Lithonia Lighting	ESX1 LED P3 40K R5	ESX LED Area Luminaire Size 1 P3 Lumen Package 4000K CCT Type R5 Distribution	1	21680	0.8	146.35

Symbol	Description	Avg	Max	Min	Max/Min	Avg/Min
	Existing Parking Lot	0.3 fc	8.6 fc	0.0 fc	N/A	N/A
	Existing Parking Lot Canopy	0.8 fc	3.1 fc	0.0 fc	N/A	N/A
	FIRELANE ROAD	0.3 fc	5.8 fc	0.0 fc	N/A	N/A
	Front Canopy	0.8 fc	3.1 fc	0.0 fc	N/A	N/A
	New Parking Lot	0.9 fc	5.7 fc	0.0 fc	N/A	N/A
	Yellow Jacket Lane Sidewalk	0.2 fc	1.9 fc	0.0 fc	N/A	N/A



**A1 SITE PLAN**  
 1" = 20'

A:\2023\11987\2203\_DSGN01\_DWG050\_CIVIL\00\_SHEETS\CS101-11987.DWG, 10/19/2023 1:52 PM, Ijones



November 7, 2023

City of Rockwall  
Planning Department  
385 S. Goliad Street  
Rockwall, Texas 75069

RE: Letter of Intent - Design Exceptions Request

Dear Mr. Lee:

Parkhill, as the representative for Rockwall County, previously submitted an application for site plan approval for the Rockwall County Courthouse Annex. The property is located at 1101 E. Yellow Jacket Lane Rockwall Texas, 75087. The application has been identified as case number SP2023-034.

The project consists of adding a Courthouse Annex Building, parking, utilities, and connection to the existing Rockwall County complex. As discussed previously with the city of Rockwall Planning Department, Parkhill was aware that multiple design exceptions would be necessary as part of this Site Plan Submission. Per our previous discussions with the city of Rockwall Planning Department, we would like to submit the following design exception requests:

- Articulation Standards (Subsection 04.01. C. of Article 05, UDC)
  - Building footprint is nearly at maximum building size allowed. There is no primary building entrance along East Yellow Jacket, our main façade faces in toward the existing parking.
- Exterior Walls consist of 90% Masonry (Subsection 06.02. C. of Article 05, UDC)
  - Total of 60% Masonry provided. Design intent is to closely relate to the adjacent County courthouse and library
- At least 20% Natural quarried stone on each façade (Subsection 06.02. C. of Article 05, UDC)
  - Providing 18.8%, 33%, 41.5%, and 6.4% to the façades, and a total percentage of 25.4%
- The minimum roof pitch for this zoning district is 6:12. (Subsection 04.01, of Article 05, UDC)
  - Mansard roof pitch to be 6:12, front overhangs to be 4:12.
- Landscape Exception requested to substitute 8 Accent Trees for the 8 Canopy Trees required along East Yellow Jacket Lane due to the existing overhead power line in right of way (Subsection 05.01.B of Article 8, UDC). The two proposed compensatory measures include:
  - 15-foot wide landscape buffer provided along East Yellow Jacket Lane instead of the ordinance required 10-foot wide buffer.
  - 31.4% (24,711 SF) of landscape area provided instead of the ordinance required 20% (15,729 SF).
- Driveway Spacing (Section 02.06, Standards of Design and Construction)
  - Seeking an exception from the driveway spacing requirement of 200 feet along Yellow Jacket Lane, to a spacing of 85 ft.
- 20ft minimum depth for all parking
  - Seeking an exception to the 20ft depth requirement for the parking lot area south of the proposed building, to 18 feet. The existing parking spaces in this area are 18ft x 9ft.



Please feel free to contact me if you have any questions regarding the applications for the Site Plan of the Rockwall County Courthouse Annex.

Sincerely,

PARKHILL

By *Ben Sanchez, P.E.*

Ben Sanchez, PE

Civil Engineer

Authorized Representative/Applicant for Rockwall County

Enclosures

Cc: Files





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Clay Cristy; *ClayMoore Engineering*  
**CASE NUMBER:** SP2023-038; *Site Plan for HTeaO*

---

### **SUMMARY**

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Staci Bowen of Metroplex Acquisition Fund, LP for the approval of a Site Plan for *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on a 0.93-acre portion of a larger 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On December 7, 1993, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*i.e. Ordinance No. 07-13*] for limited General Retail (GR) District land uses. On October 5, 2020, the City Council approved a replat [*i.e. Case No. P2020-038*] that replatted the subject property as Lot 11, Block A, Stone Creek Retail Addition. On May 2, 2022, the City Council approved a replat [*i.e. Case No. P2022-013*] that established the subject property as a portion of Lot 13, Block A, Stone Creek Retail Addition. On November 6, 2023, the City Council approved a Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] to allow a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property. The subject property is currently vacant.

### **PURPOSE**

On October 20, 2023, the applicant -- *Clay Cristy of ClayMoore Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing a *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In (i.e. HTeaO)* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located northeast of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject is a *Restaurant with less than 2,000 SF with a Drive-Through (i.e. Salad-n-Go)*. North of this is a *Restaurant with more than 2,000 SF with a Drive-Through (i.e. McDonald's)*. Beyond this is a *Retail Store with Gasoline Sales (i.e. Tom Thumb Gas Station)*. All of these properties are zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses.

South: Directly south of the subject property is Bordeaux Drive, which is identified as a *A4D (i.e. major arterial, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Stone Creek Subdivision, which is an 83.57-acre residential subdivision, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.



**East:** Directly east of the subject property is the remainder of a 5.16-acre parcel of land (*i.e. Lot 13, Block A, Stone Creek Retail Addition*) -- that includes the subject property --, which is currently vacant. East of this is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 2B & 6 of the Stone Creek Subdivision, which are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

**West:** Directly west of the subject property is N. Goliad Street [SH-205], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. 3069 and 3073 N. Goliad Street*), zoned Single-Family 16 (SF-16) District. Beyond this is Phase 6 of the Shores Subdivision, which consists of 70 lots and is zoned Planned Development District 3 (PD-3) for single-family land uses.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* is permitted by Specific Use Permit (SUP) in a General Retail (GR) District. A Specific Use Permit (SUP) [*i.e. Case No. Z2023-048; Ordinance No. 23-62, S-319*] was granted for this land use by the City Council on November 6, 2023. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>X=0.81-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X= 137-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=249.46-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x&gt;15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>x&gt;10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>x=10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X&lt;60-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=2.22%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/100 SF (8 Required)</i>	<i>x=8; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x&lt;85%; In Conformance</i>

**TREESCAPE PLAN**

There are no trees being removed from the property, therefore no treescape plan is required.

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(F)(27), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case the applicant is requesting a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.



## VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Architectural Standards.

- (a) ~~20% Stone Requirement. According to Subsection 06.02(C)(1)(A)(1), *Stone*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...a minimum of 20% natural or quarried stone is required on all building facades." In this case, the applicant meets this requirement on three (3) of four (4) sides of the building. A variance is requested for the building façade that does not meet this requirement.~~
- (b) 90% Masonry Requirement. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." In this case, the applicant meets this requirement on one (1) of the four (4) sides of the building. A variance is requested on three (3) of the four (4) sides of the building.
- (c) Roof Design Standards. According to Subsection 06.02 (C)(3), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant (*i.e. Salad and Go*).
- (d) Four-Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. ~~In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building.~~" In this case, the building elevations did not meet the articulation standards or projection standards for all four (4) facades of all buildings proposed ~~and there is not an additional row of trees proposed at the back of the property.~~
- (e) ~~Landscape Buffers. According to Article 08, *Landscape and Fence Requirements*, of the Unified Development Code (UDC) "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts public right of way ... all landscape buffers adjacent to a public right of way shall incorporate ground cover, a *built up berm* and shrubbery ..." In addition, the *General Overlay District Standards* require a built-up berm along the entire frontage of the required 20-foot landscape buffer. In this case, the applicant has not provided any berms in the landscape buffers. This will require an exception and a variance to the standards.~~

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicant's provide compensatory measures that directly offset the requested exception. ~~In this case, as compensatory measures the applicant is proposing to [1] increased landscaping (*i.e. six (6) canopy trees around the building and increased landscaping at east and southwest corners of the lot*), [2] additional coverings (*i.e. portico around the front entrance and squared arch openings on either side of portico*), and [3] increased horizontal articulation (*i.e. added cornice design using two-stop cornice crowning the top of the walls finished in stucco*). Staff should point out that all of the identified compensatory measures are requirements and do not meet the ordinance's definition of compensatory measures.~~ With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.



**Addendum (December 07, 2023):** On December 6, 2023, the applicant submitted revisions to staff that included an updated Site Plan, Building Elevations, Landscape Plan, and Photometric Plan. Based on what was submitted, the applicant is requesting exceptions to the 90% masonry requirements, roof design standards, and four-sided architecture requirements (*i.e. primary and secondary articulation*). Staff should note that a *Variance Letter* was requested by staff, but was not provided by the applicant. As of now, there are no compensatory measures being proposed to off-set the requested exceptions; however, the applicant has changed the building elevations to be in conformance with the 20% stone requirement and provided increased landscaping as required by the *General Overlay District Standards*.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Northwest Residential District*. The *Northwest Residential District* is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. As a result, the majority of commercial development in the area is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. Strategy #2 in the *Northwest Residential District* states that "...commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on November 1, 2023. The ARB recommended that the applicant revise the elevations to be more consistent with the surrounding buildings (*i.e. Salad and Go*) in terms of projections and building materials. They also asked that the applicants meet the articulation requirements. Before action is taken on the elevations, the ARB wants to see the revised elevations at the November 14, 2023 meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for HTeaO on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- ~~(2) The applicant shall provide an updated Landscape Plan that shows conformance with the Landscape Plan and operational requirements approved with the Specific Use Permit (SUP) ordinance (*i.e. Ordinance No. 23-62*).~~
- ~~(3) The applicant shall update the Photometric Plan to be in conformance with the Unified Development Code (UDC) before the engineering process.~~
- (4) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address \_\_\_\_\_

Subdivision Stone Creek Retail Addition

Lot

12

Block

A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Retail

Acreage 0.93

Lots [Current] 1

Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Staci Bowen

Contact Person Clay Cristy

Address 1717 Woodstead Ct.

Address 1903 Central Dr.

Ste. 207

Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail sbowen@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

## NOTARY VERIFICATION [REQUIRED]

Billy J. Brice III, President of  
Metroplex Acquisition Fund, LP

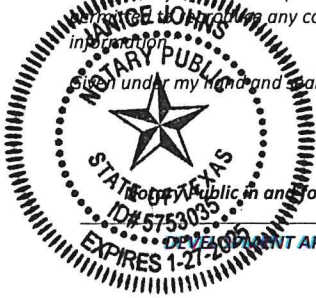
Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 268.60, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of September, 20 23. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information.

\_\_\_\_\_ under my hand and seal of office on this the 14th day of September, 20 23

Owner's Signature

My Commission Expires 1-27-2025



Notary Public in and for the State of Texas  
ID# 5753035  
EXPIRES 1-27-2025



SP2023-038: Site Plan for a Restaurant with a Drive-Through



PD-37

205  
N GOLIAD ST

SF-16

PD-70

BORDEAUX DR

MIRAMOR DR

AG

Case Location Map =



# City of Rockwall

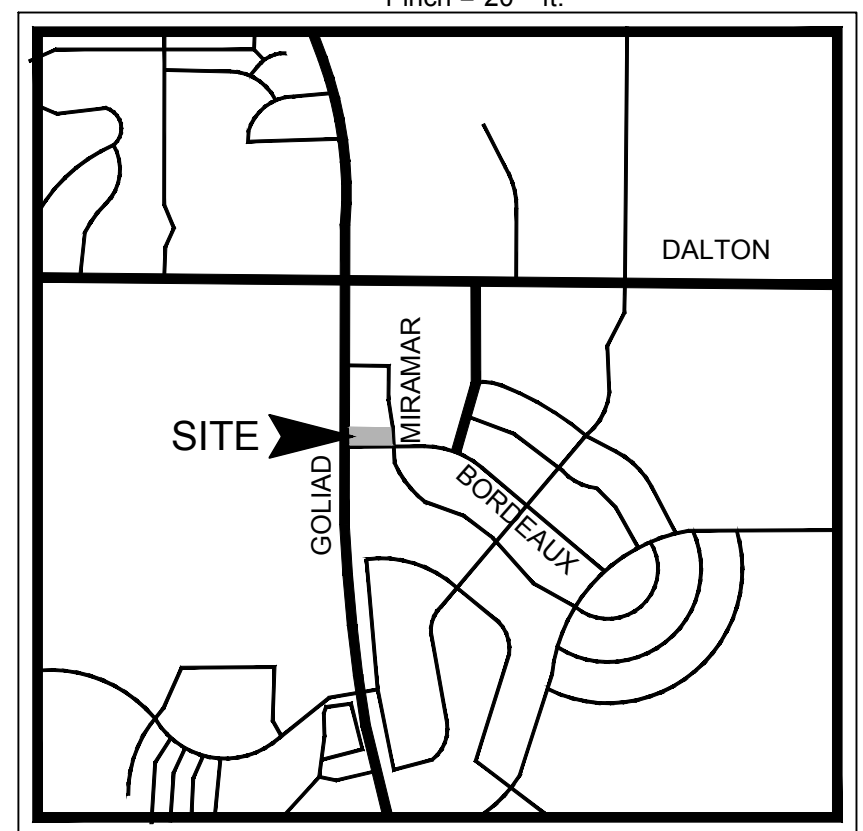
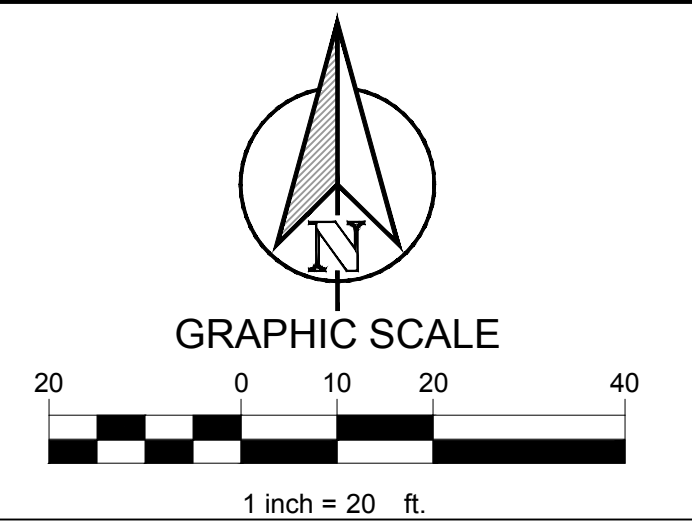
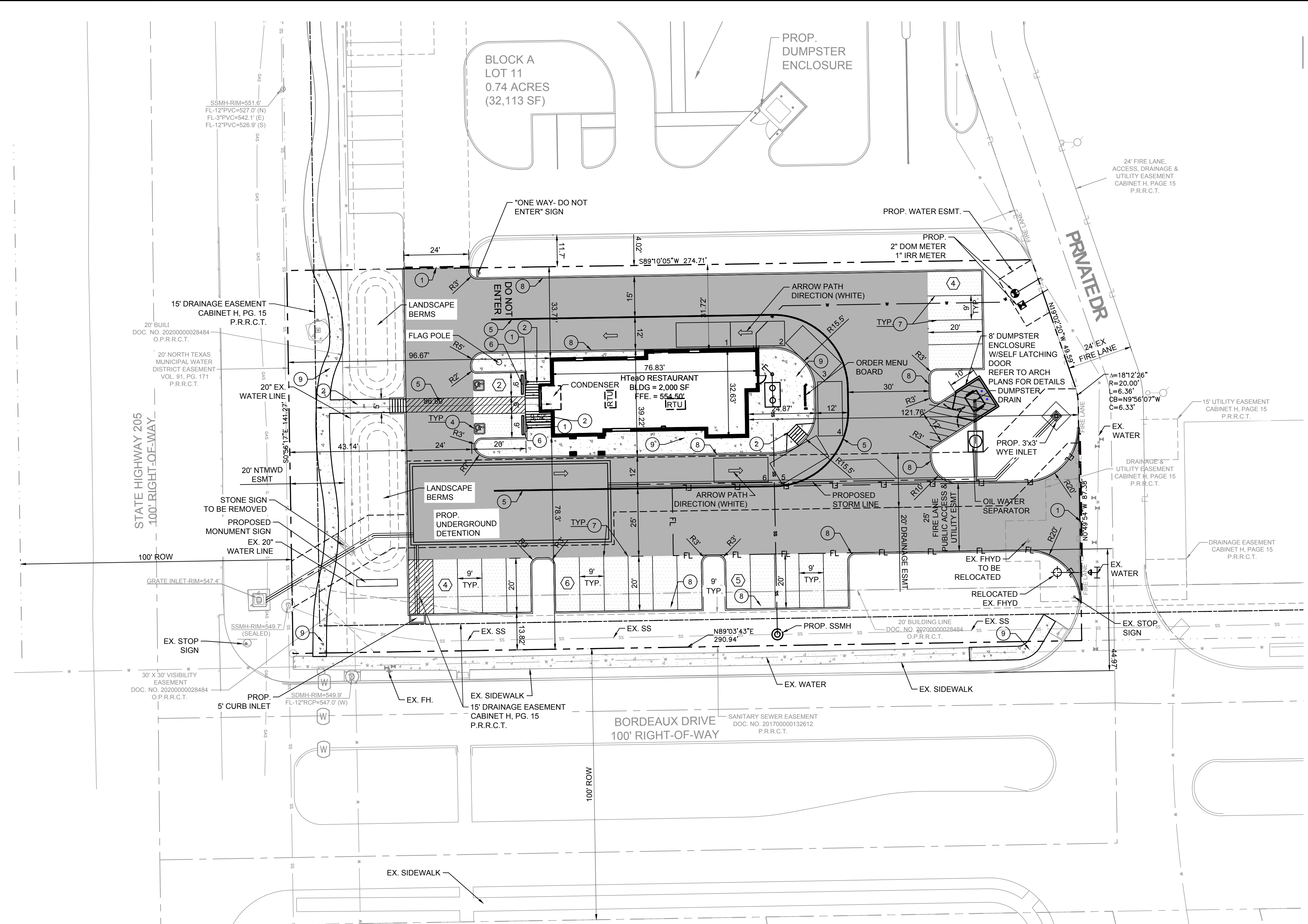
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 12/5/2023 4:15 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2023-110 APPJ MGMT - HTEAO ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG  
 LAST SAVED: 12/5/2023 3:51 PM



VICINITY MAP  
N.T.S.

CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED 5" LIME STABILIZED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 6" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 7" LIME STABILIZED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED 5" LIME STABILIZED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

TEXAS REGISTRATION #14199  
**CLAY MOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 CLAY CRISTY  
 Engineer No. 10980 Date 12/5/2023

**HTEAO RESTAURANT  
 HWY 205 & BORDEAUX DR  
 ROCKWALL, TX 75087**

No.	DATE	REVISION	BY
2	09/13/2021	STORM REVISION	LRR
1	12/07/2020	STORM REVISION	LRR

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
  - PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS

PARKING DATA TABLE		
PARKING REQ.		
DRIVE-THRU RESTAURANT (2,000 SF) 1/ 100 SF		20 SPACES
PARKING PROVIDED		
STANDARD PARKING		19 SPACES
ADA PARKING		2 SPACES
TOTAL		21 SPACES (2 ADA)
TYP. PARKING DIMENSIONS		9'X20'

SITE DATA TABLE	
SITE AREA	0.933 AC (40,627 SF)
ZONING	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT
BUILDING SIZE	2,000 SF
BUILDING STORIES	1 STORY
TOTAL IMPERVIOUS	28,117 SF (69)

CONSTRUCTION SCHEDULE	
①	HANDICAP SIGN
②	ADA RAMP, 12:1 MAX. SLOPE
③	SAWCUT FULL DEPTH EXISTING PAVEMENT
④	HANDICAP SYMBOL
⑤	PAVEMENT STRIPING
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE
⑧	CURB & GUTTER
⑨	PROPOSED SIDEWALK

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**OWNER:**  
 METROPLEX ACQUISITIONS FUND, LP  
 1717 WOODSTEAD CT, SUITE 207  
 THE WOODLANDS, TX 77380  
 CONTACT: STACI BOWEN  
 PH: 214.343.447

**DEVELOPER:**  
 APPJ MANAGEMENT  
 740 AVALON DR  
 HEATH, TX 75032  
 CONTACT: JEFF IVY  
 PH: 214-272-4350

**HTEAO RESTAURANT**  
 LEGAL DESCRIPTION AND OR ADDRESS:  
 HWY 205 & BORDEAUX DRIVE  
 ROCKWALL, TX 75087  
 0.933 AC (40,627 SF)

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: CLAY CRISTY  
 PH: 817.281.0572

**CASE NUMBER:**  
 Z2023-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	12/5/2023

SHEET  
**SP-1**



**BUILDING EXTERIOR WALL MATERIAL PERCENTAGES**

TOTAL FAÇADE AREAS: **4424 S.F.**

TOTAL FAÇADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: **4424 S.F.**

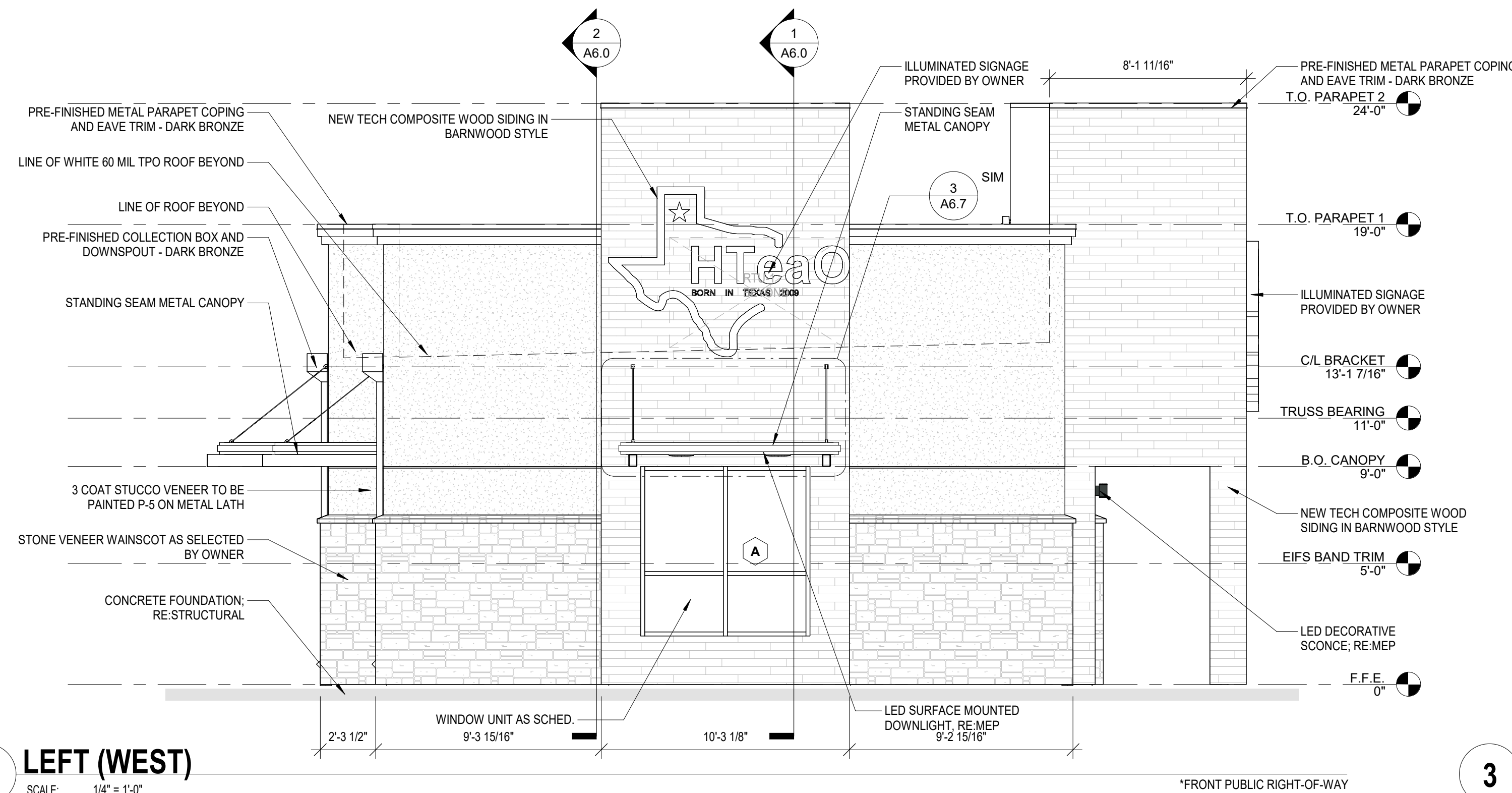
MAX. BUILDING HEIGHT ALLOWED BY CODE: **40'-0" S.F.**

PROPOSED BUILDING HEIGHT: **22'-0" S.F.**

BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	848	59%	703	48%	353	46%	226	30%	2130	48%
Stone	536	37%	446	31%	227	29%	155	21%	1364	31%
Wood/Composite	0	0%	250	17%	171	22%	351	47%	772	17%
EIFS	64	4%	54	4%	23	3%	17	2%	158	4%
<b>TOTALS</b>	<b>1448</b>	<b>100%</b>	<b>1453</b>	<b>100%</b>	<b>774</b>	<b>100%</b>	<b>749</b>	<b>100%</b>	<b>4424</b>	<b>100%</b>

**GENERAL NOTES**

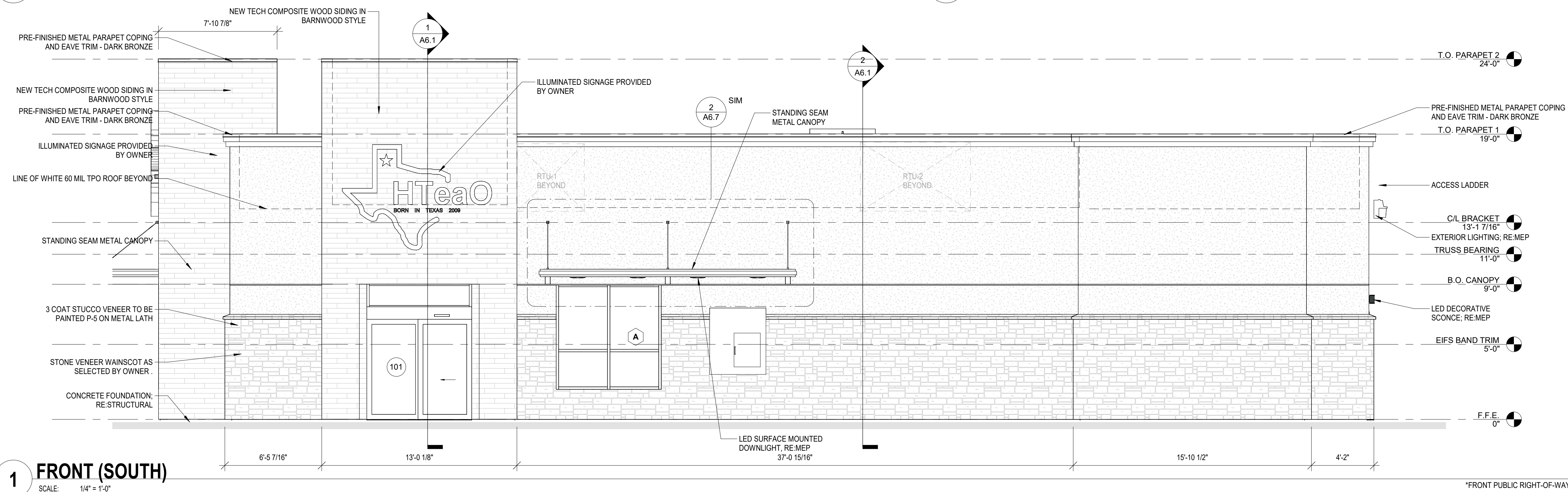
1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



**2 LEFT (WEST)**  
SCALE: 1/4" = 1'-0"



**3 3D View 2**  
SCALE: N.T.S.



**1 FRONT (SOUTH)**  
SCALE: 1/4" = 1'-0"

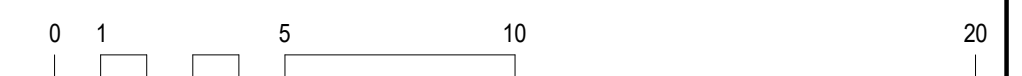
**HTEAO ROCKWALL**  
**3060 NORTH GOLIAD STREET**  
**ROCKWALL, TX 75087**



Date: **7-24-2023**  
Dwn: **BRZ** Chk: **SJK**  
Project No.: **2348**  
Issue:

Sheet Name:  
**EXTERIOR ELEVATIONS**

**A5.0**





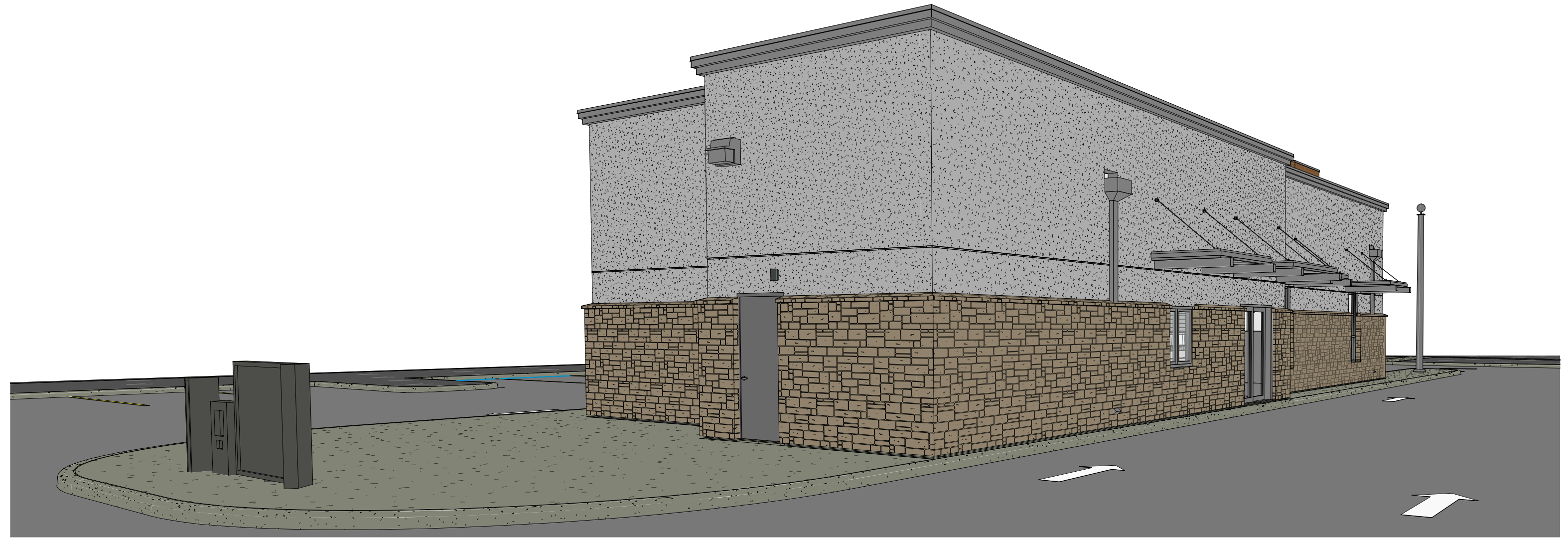
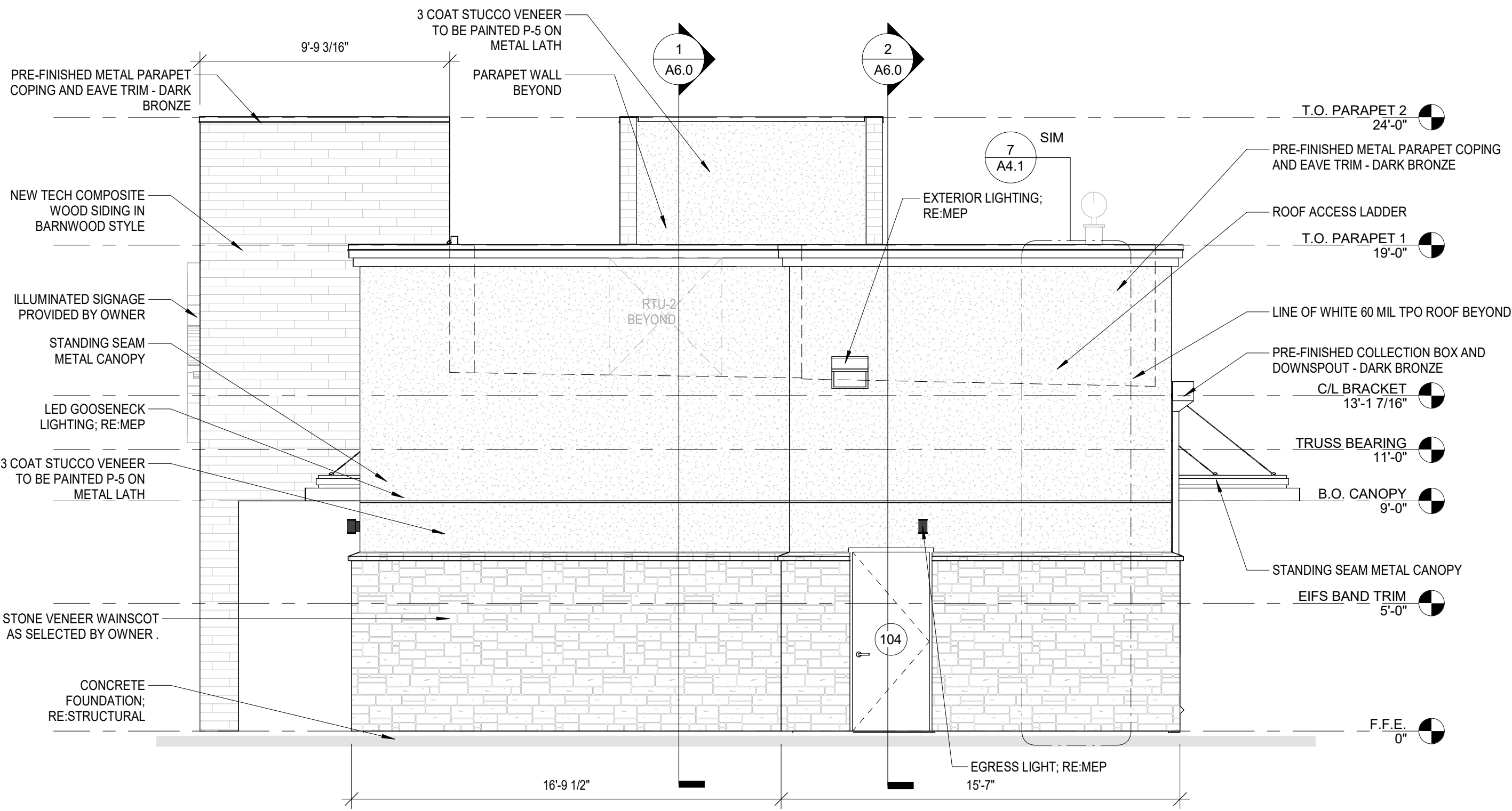
**BUILDING EXTERIOR WALL MATERIAL PERCENTAGES**

TOTAL FAÇADE AREAS: **4424 S.F.**  
 TOTAL FAÇADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: **4424 S.F.**  
 MAX. BUILDING HEIGHT ALLOWED BY CODE: **40'-0" S.F.**      PROPOSED BUILDING HEIGHT: **22'-0" S.F.**

BLDG MATERIAL	NORTH		SOUTH		EAST		WEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
Stucco	848	59%	703	48%	353	46%	226	30%	2130	48%
Stone	536	37%	446	31%	227	29%	155	21%	1364	31%
Wood/Composite	0	0%	250	17%	171	22%	351	47%	772	17%
EIFS	64	4%	54	4%	23	3%	17	2%	158	4%
<b>TOTALS</b>	<b>1448</b>	<b>100%</b>	<b>1453</b>	<b>100%</b>	<b>774</b>	<b>100%</b>	<b>749</b>	<b>100%</b>	<b>4424</b>	<b>100%</b>

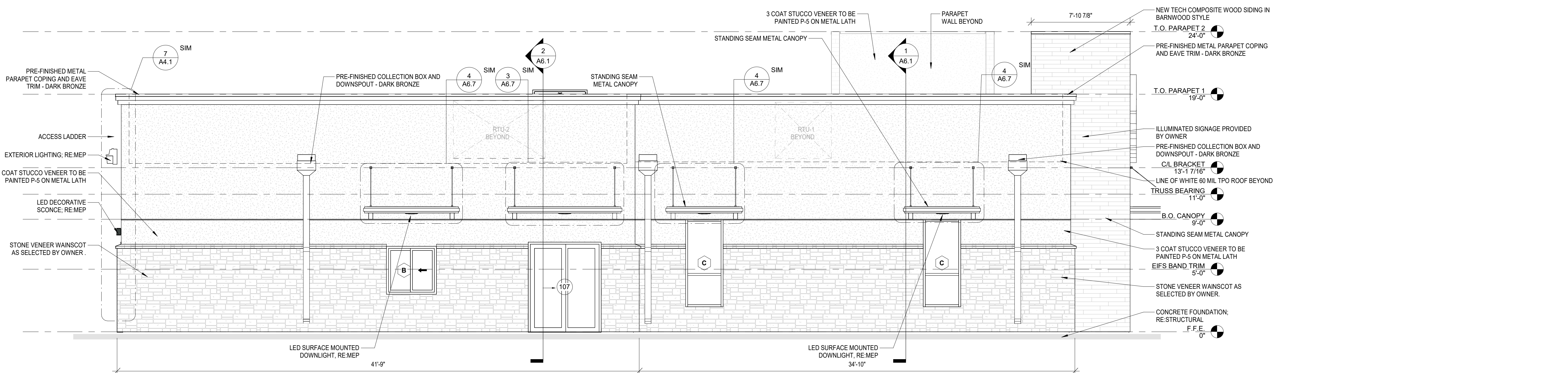
**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER BEFORE ORDERING.
2. CONTRACTOR TO VERIFY ALL OPENINGS FOR DOORS AND WINDOWS BEFORE ORDERING.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL SURFACES IN SATISFACTORY MANNER. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
4. ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH BY CHAPTER 24 OF THE I.B.C.



**2 RIGHT (EAST)**  
SCALE: 1/4" = 1'-0"

**3 3D View 1**  
SCALE: N.T.S.



**1 REAR (NORTH)**  
SCALE: 1/4" = 1'-0"

HTEAO ROCKWALL  
 3060 NORTH GOLIAD STREET  
 ROCKWALL, TX 75087



Date: 7-24-2023  
 Dwn: BRZ Chk: SJK  
 Project No.: 2348  
 Issue:

Sheet Name:  
 EXTERIOR ELEVATIONS

**A5.1**





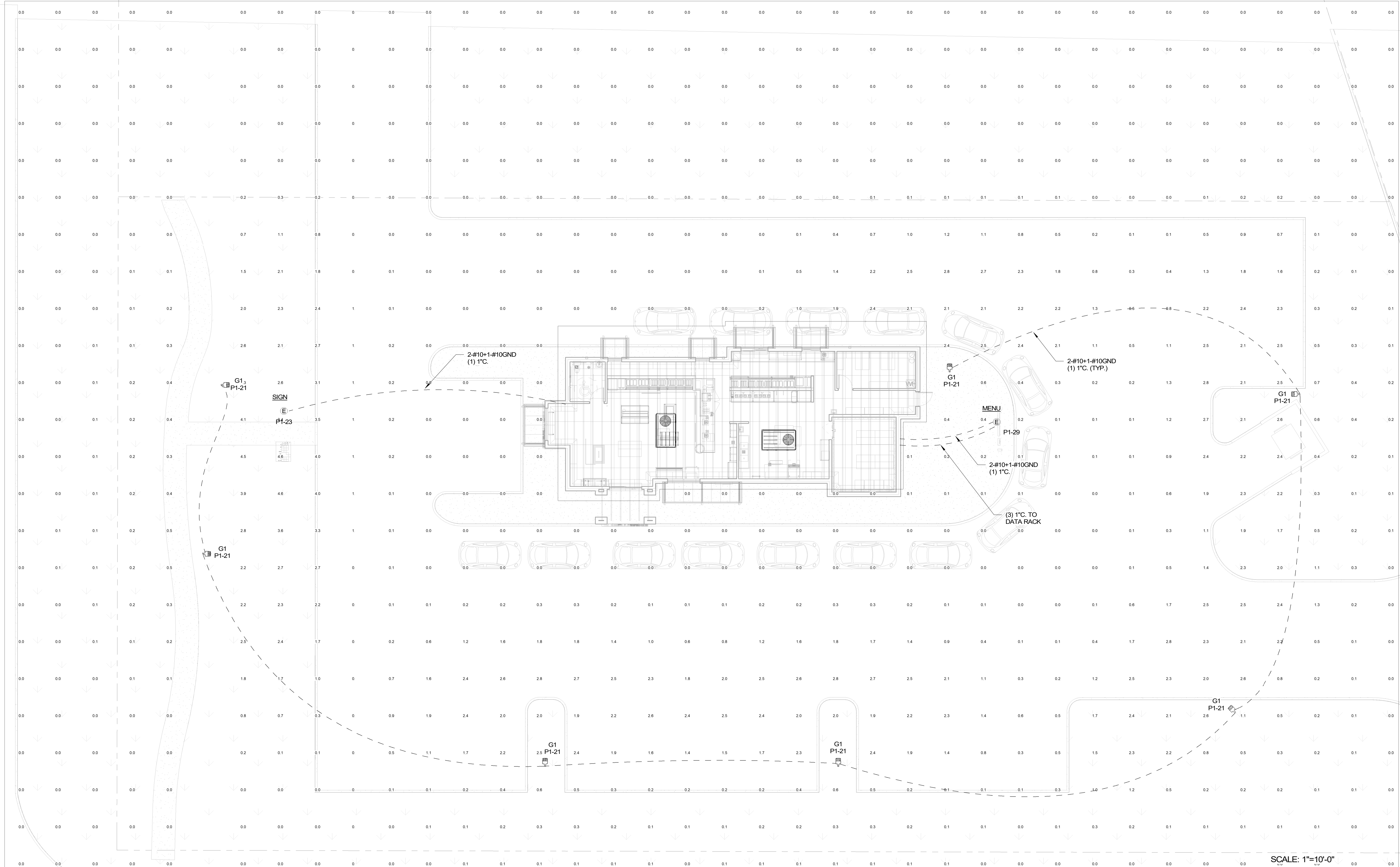








TYPE G1 NLS LIGHTING NV-1-T3-32L-1-40K8-DPS3-BLK-HSS 116W



SCALE: 1"=10'-0"



HTEAO ROCKWALL  
 HWY 205 & BORDEAUX DR.  
 ROCKWALL, TX 75087



Date: 09/29/2023  
 Dwn: KSF Chk: CG  
 Project No.: 2348  
 Issue: PERMIT

1	REVISION 1	11/06/2023
---	------------	------------

Sheet Name:  
 ELECTRICAL  
 SITE  
 PHOTOMETRIC  
 PLAN

**E0.2**

1 ELECTRICAL SITE PHOTOMETRIC PLAN





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Kamran Khan  
**CASE NUMBER:** SP2023-042; *Amended Site Plan for an Existing General Retail Building*

---

On July 6, 1959, the subject property was annexed into the City of Rockwall by *Ordinance No. 59-02 [i.e. Case No. A1959-002]*. At the time of annexation, the subject property was zoned Commercial (C) District and has remained zoned Commercial (C) District since annexation. In June 1977, the subject property was established as Lot 1, Block A, Burgamy Addition. According to Rockwall Central Appraisal District (RCAD), there is a 2,585 SF retail building currently situated on the subject property that was constructed in 1983. On November 13, 2023, the applicant -- *Kamran Khan* -- submitted an application for an *Amended Site Plan* proposing to make changes to the existing retail building. Based on the building elevations provided in the *Amended Site Plan*, the applicant is proposing changes to the existing building façade and adding a dumpster on the subject property. Based on the *General Overlay District Standards*, the proposed changes will require a variance to the following:

- (1) *Roof Design Standards*. According to Subsection 06.02(C)(2), of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint less than 6,000 SF shall be constructed with a pitched roof." In this case, the existing building has a partial mansard roof on the front of the structure. By removing this roof element, the applicant is bringing the existing building further out of conformance with the *General Overlay District Standards*. This will require a *variance* to be granted by the Planning and Zoning Commission.

According to Subsection 09.02 of Article 11, *Variances to the General Overlay District Standards*, of the Unified Development Code (UDC), "(i)n cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." Based on the provided building elevations, the proposed changes to the existing general retail store will require a variance to the roof design standards. Staff should note that even though there are no compensatory measures provided, the applicant is proposing improvements to the property that will bring the building closer in to conformance with the *General Overlay District Standards*. Specifically, when the existing retail store closed, new RTU's were placed on the roof that were not permitted. The applicant has indicated that they will be raising the parapet on three (3) sides of the building and finishing the parapet on the back side of the building. This will meet the HVAC screening requirements and will screen the RTU's reducing the visibility from the adjacent public rights-of-way. Based on this, staff feels the applicant's variance request warrants consideration without compensatory measures. With this being said, approval of variances are discretionary decisions for the Planning and Zoning Commission and do require a supermajority vote with a minimum of four (4) affirmative votes. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *December 12, 2023* Planning and Zoning Commission meeting.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1007 Ridge Rd

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial / Retail

CURRENT USE C-Store

PROPOSED ZONING Commercial Retail

PROPOSED USE C-Store

ACREAGE \_\_\_\_\_

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kamran Khan

APPLICANT \_\_\_\_\_

CONTACT PERSON Abel Cisneros

CONTACT PERSON \_\_\_\_\_

ADDRESS 805 Green Pond Dr.

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Garland TX 75040

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-907-6355

PHONE \_\_\_\_\_

E-MAIL notutexasbrands@gmail.com

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kamran Ahmed Khan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

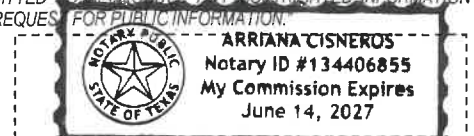
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 24 DAY OF October 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24 DAY OF October, 2023

OWNER'S SIGNATURE

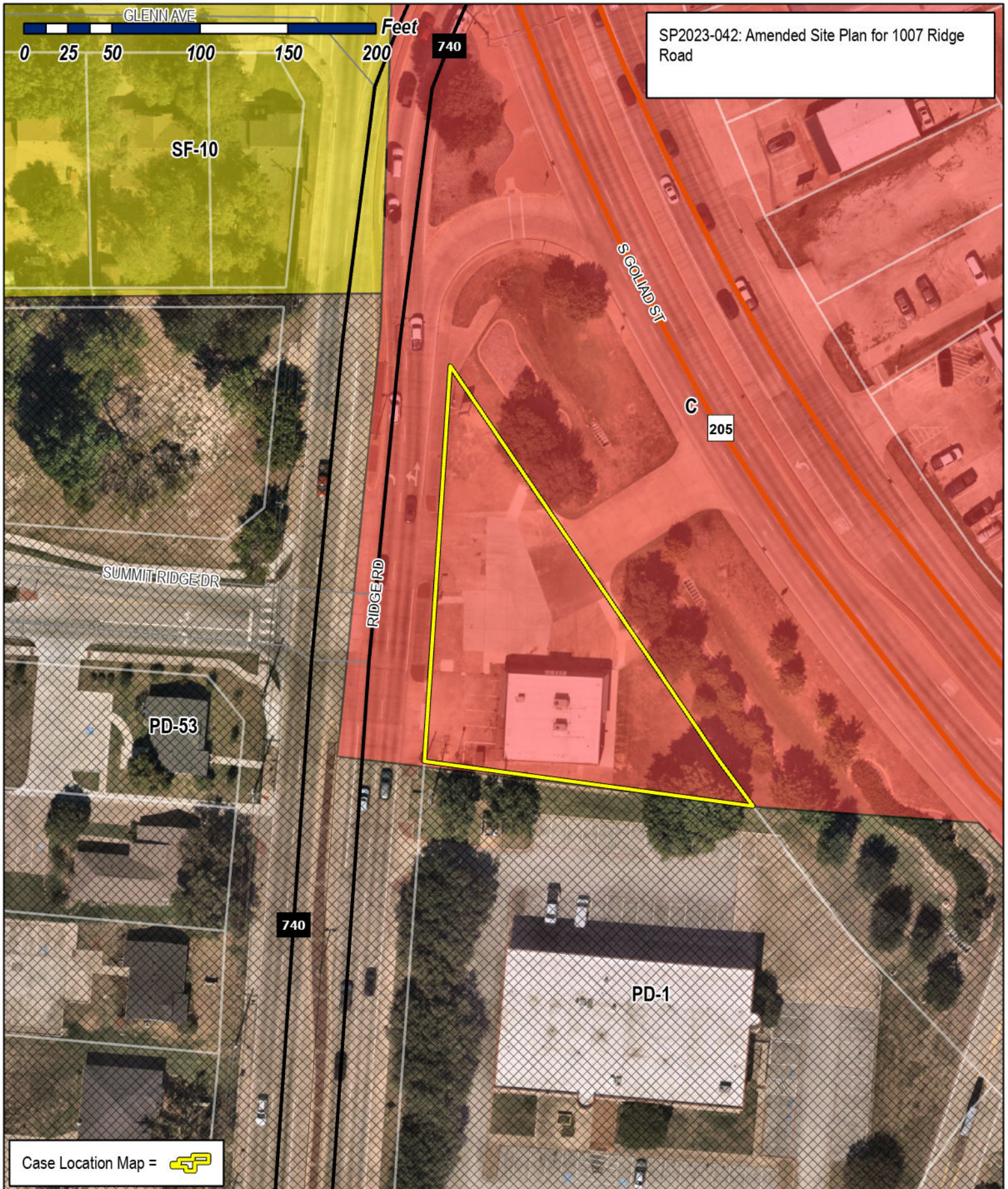
Kamran Khan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES June 14, 2027





SP2023-042: Amended Site Plan for 1007 Ridge Road

Case Location Map = 



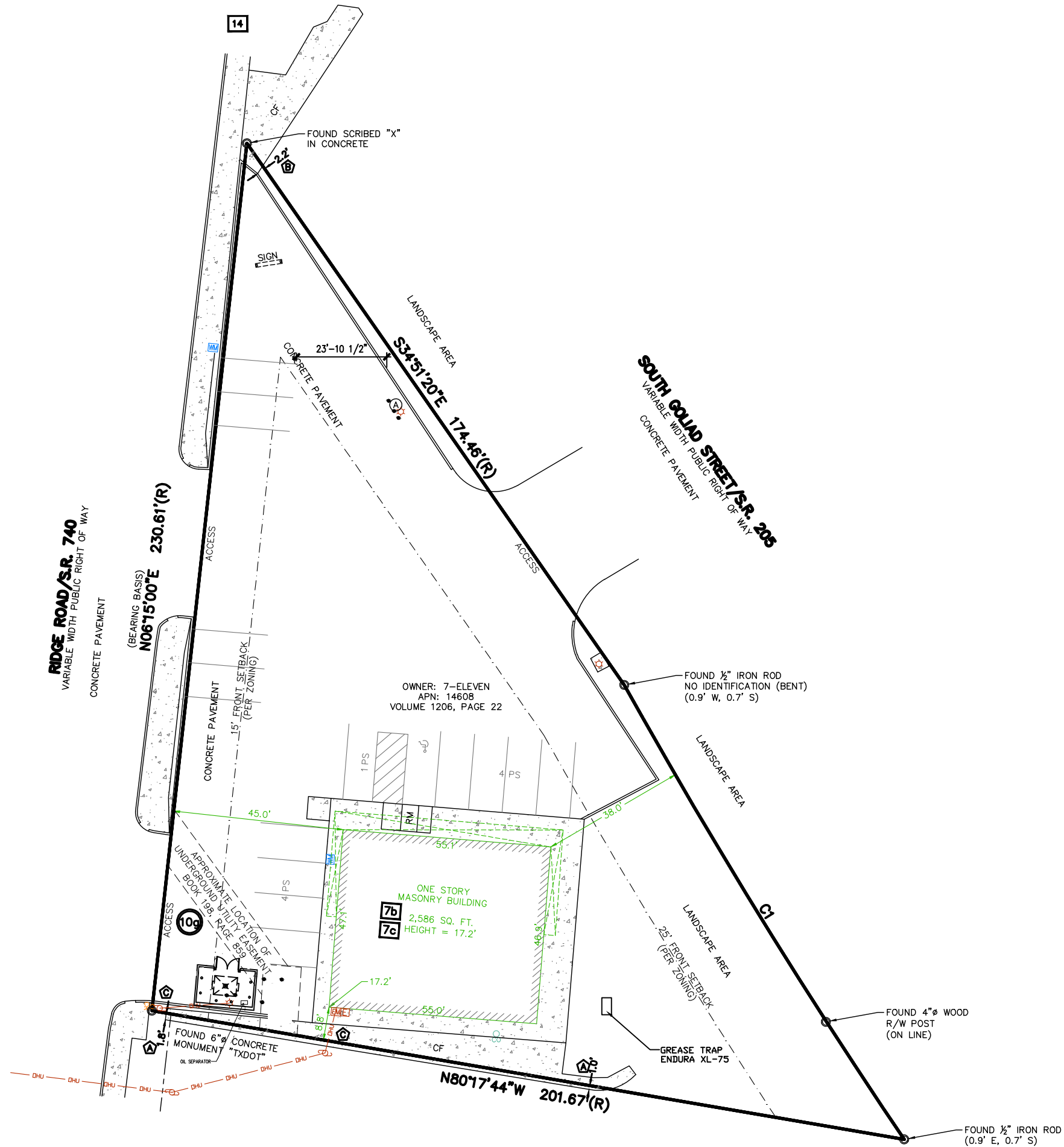
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

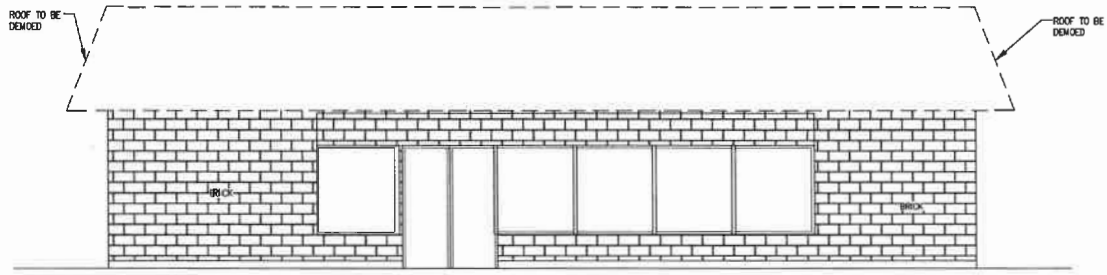
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





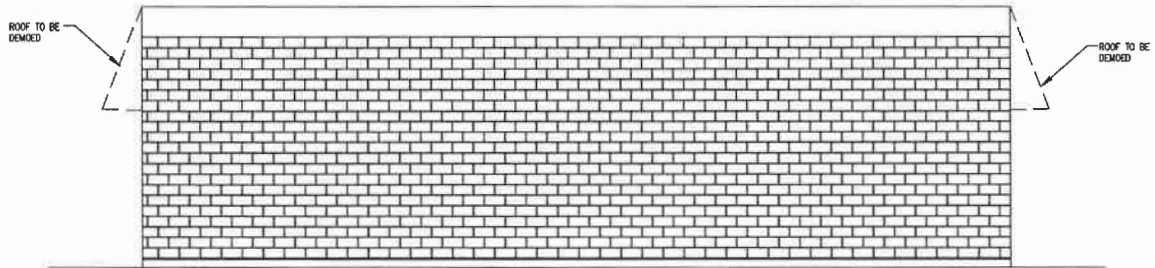






EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

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1007 RIDGE RD,  
 ROCKWALL, TX 75087

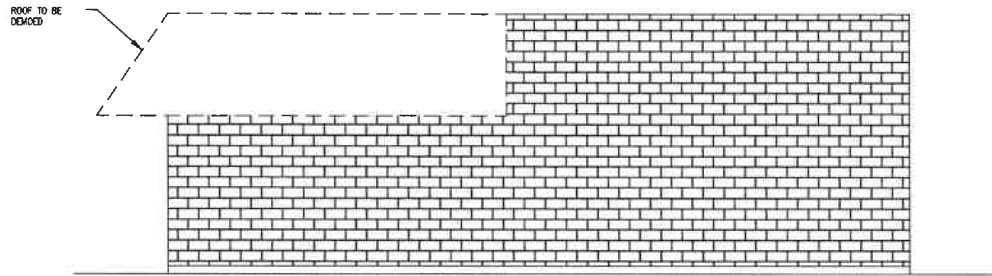
ISSUE LOG	
DATE	DESCRIPTION

SCALE  
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DATE  
 09/11/2023

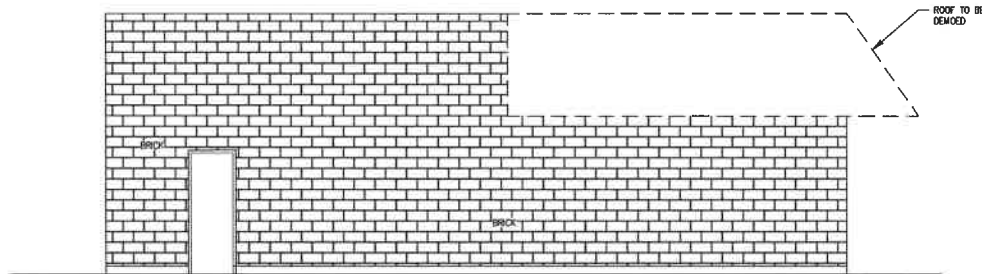
SHEET  
 A2.01





EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

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 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

SCALE  
 1/8" = 1'-0"

DATE  
 08/11/2023

SHEET  
 A2.02















**GENERAL NOTES**

- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR FULL INFORMATION NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- NOTIFY ARCHITECT AND OWNER OF ERRORS, OMISSIONS, AND DISCREPANCIES IN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL SITE CONSTRUCTION CONDITIONS. ERRORS, OMISSIONS, AND DISCREPANCIES MUST BE RESOLVED AND DOCUMENTED BEFORE CONTINUING CONSTRUCTION WITH THE WORK IN QUESTION. FAILURE TO NOTIFY THE OWNER AND ARCHITECT IN SUCH AN EVENT SHALL CONSTITUTE ACCEPTANCE OF ANY RESULTING OBLIGATIONS OR RESPONSIBILITIES WITH REGARDS TO DELAYS, COSTS, CODE COMPLIANCE, AND LEGAL REMEDIES RESULTING FROM THIS OR RELATED WORK.
- CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
  - ARCHITECT'S ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNER'S CONSULTANT.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
  - REFER TO STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS, AND DETAILS; INCLUDING REQUIRED RETAINING WALLS, WATERPROOFING, AND FRENCH DRAIN SYSTEMS.
  - COORDINATE SOIL COMPACTION REQUIREMENTS BEHIND RETAINING WALLS WITH STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
- REFER TO ELEVATIONS FOR ROOFS TO BE GUTTERED. SUBMIT PROPOSED LOCATIONS OF GUTTERS AND DOWNSPOUTS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- ALL FLOOR FINISH HEIGHTS TO MATCH. FLOOR ELEVATIONS AT SECOND FLOOR ARE GIVEN TO TOP OF FLOOR DECK.
- INSTALL STUDS AT CLOSET SIDE WALL ROD LOCATIONS, MEASURED 10" FROM BACK WALL.
- EXTERIOR MATERIALS AND FINISHES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
- FIRE SPRINKLERS SYSTEMS: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. I.E. WINDOWS, STEEL, CAST STONE...ETC.
- THE CONTRACTOR SHALL PAY ALL FINES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, AND OBTAIN

ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THE CONTRACT DOCUMENTS.

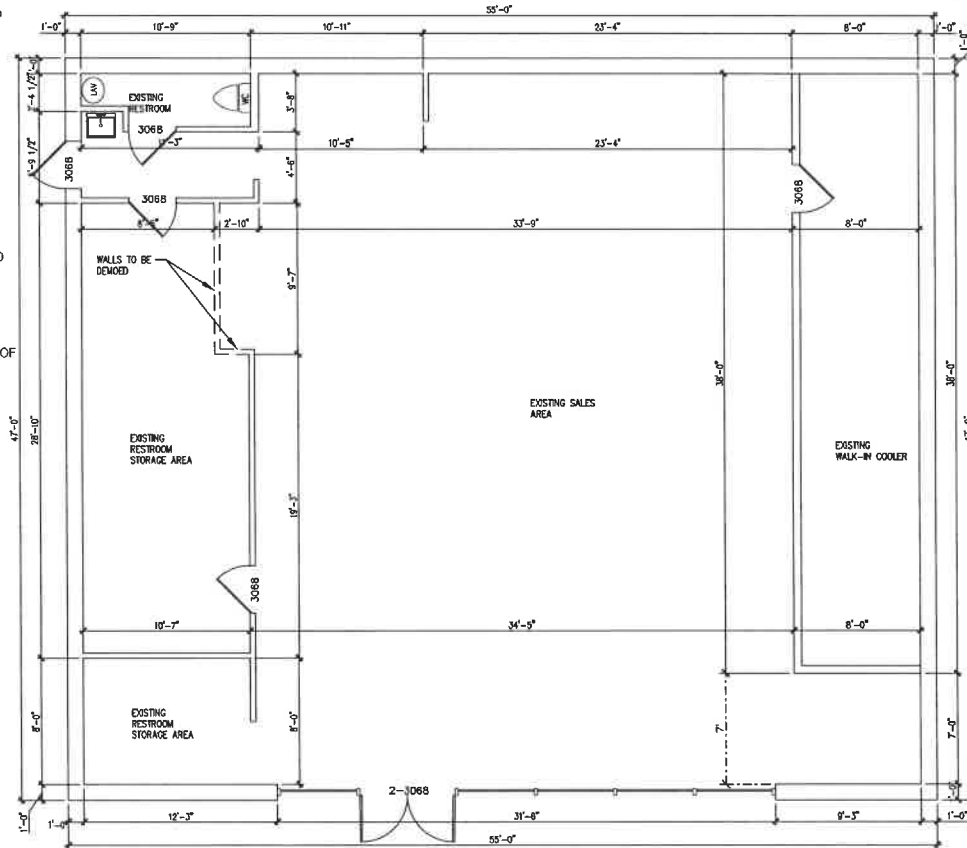
- ALL GARAGE DOORS SHALL HAVE REMOTE ACCESS. MATERIALS ON GARAGE WILL BE ALUMINUM WITH A LIGHT BRONZE FINISH.
- ALL CONCRETE AREAS SHALL FORMED WITH HIGH-STRENGTH CONCRETE MATERIAL AND SHALL HAVE A BRUSH FINISH WITH A STONE BOARD.
- EXISTING BACK YARD TREE SHALL BE USED TO MEET AND SATISFY REQUIREMENTS OF HOA AND SHALL COMPLY WITH CITY OF DESOTO TREE SURVEY.

**FOR DIMENSION PURPOSES:**

- DO NOT SCALE DRAWINGS.
- VERIFY DIMENSIONS: NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WOOD STUD WALLS: 2x4'S @ 16" O.C. TO A MAXIMUM HEIGHT OF 10'-0", SUPPORTING ONE FLOOR, ROOF, AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10'-0" AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
- EXTERIOR WOOD STUD/MASONRY ASSEMBLIES: 9" w/2x4's, 11" w/2x6's, 13" w/2x8's
- INTERIOR WOOD STUDS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION: FLAT STUDS DIMENSIONED 2" THICK AND OVER 6" THICK STUD WALLS DIMENSIONED OUT-TO-OUT.
- WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.

**CODE INFORMATION**

CODE INFORMATION	REQUIRED	PROVIDED
INTERNATIONAL BUILDING CODE (IBC)	2021	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021	2021
INTERNATIONAL MECHANICAL CODE (IMC)	2021	2021
NFPA 70 NATIONAL ELECTRICAL CODE (NEC)	2020	2020
INTERNATIONAL PLUMBING CODE (IPC)	2021	2021
INTERNATIONAL FIRE CODE (IFC)	2021	2021



**EXISTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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1007 RIDGE RD.  
 ROCKWALL, TX 75087

ISSUE LOG	
DATE	DESCRIPTION

SCALE  
1/8" = 1'-0"

DATE  
08/11/2023

SHEET  
A1.00





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** December 12, 2023  
**APPLICANT:** Hind Saad; *RSG Engineering*  
**CASE NUMBER:** SP2023-044; *Site Plan for 1760 Airport Road*

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### **SUMMARY**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

### **BACKGROUND**

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. The subject property has been vacant since annexation. On April 3, 2023, the City Council approved a Zoning Change [Case No. Z2023-010] from Agriculture (AG) District to Light Industrial (LI) District for the subject property.

Prior to the current submittal, the Planning and Zoning Commission has reviewed this request twice. The first site plan [Case No. SP2023-022] was submitted by the applicant on July 14, 2023, and was denied without prejudice by the Planning and Zoning Commission on August 15, 2023 by a vote of 5-0 (*with Commissioner Hustings absent and one [1] vacant seat*). The reason the case was denied by the Planning and Zoning Commission was due to the exceptions that were being requested (*i.e. exceptions to the building articulation requirements -- both primary and secondary --, building material requirements, stone requirements, and residential adjacency standards*). Following this denial, the applicant resubmitted a new development application on August 18, 2023 [Case No SP2023-028]. This case was withdrawn by the applicant on October 4, 2023, after the applicant was unable to secure letters from the FAA regarding the required *Part 77 Form (i.e. approval from the FAA concerning the location of the proposed buildings)*. The applicant has since provided staff with the required FAA approvals.

### **PURPOSE**

On November 13, 2023, the applicant -- *Hind Saad* -- submitted an application requesting the approval of a Site Plan for seven (7) *office/warehouse buildings* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located on the south side of Airport Road, east of the intersection of Airport Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is: [1] a 5.68-acre tract of vacant land (*i.e. Tract 21 of the D. Harr Survey, Abstract No. 102*); [2] a one (1) acre tract of land (*i.e. Tract 21-01 of the D. Harr Survey, Abstract No. 102*) with a single-family home situated on it; [3] a 12.00-acre tract of vacant land; and [4] a 43.66-acre tract of land with a single-family home situated on it. All of these properties are zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4]*



lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (i.e. which is part of a larger 10.291-acre tract of land and is identified as *Tract 2-9, of the D Harr. Survey, Abstract No. 102*). Beyond this is a vacant two (2) acre tract of land (i.e. *Tract 2-5, of the D. Harr Survey, Abstract 102*). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (i.e. *Tract 3-5, of the J Lockhart Survey, Abstract 134*) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a 5.477-acre vacant tract of land (i.e. *Tract 2 of the D. Harr Survey, Abstract No. 102*), zoned Agricultural (AG) District. East of this is a 16.89-acre tract of land (i.e. *Tract 4 of the D.Harr Survey, Abstract No. 102*), which was rezoned to Light Industrial (LI) District in 2021. A site plan was approved for this property in 2021 allowing a *warehouse/distribution center* to be constructed on it.

West: Directly west of the subject property is a 5.784-acre tract of vacant land (i.e. *Tract 2-03 of the D. Harr Survey, Abstract No. 102*), which is zoned Agriculture (AG) District. West of this is a vacant 5.07-acre tract of vacant land (i.e. *Tract 2-06 of the D. Harr Survey, Abstract No. 34*) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a *P6D (i.e. a principal arterial, six [6] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and an *Office Building 5,000 SF or Greater* are permitted *by-right* land uses in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, building elevations, and phasing plan generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>12,500 SF</i>	<i>X=6.18-Acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>100-Feet</i>	<i>X= 332-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>125-Feet</i>	<i>X=729-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X&gt;25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=27-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=31.6%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space per 300 SF for Office and 1 Parking Space per 1,000 SF for Warehouse (109 Total Required)</i>	<i>X=110; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=15.3%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>90-95%</i>	<i>X=76.46%; In Conformance</i>

**TREESCAPE PLAN**

No trees are being removed from the subject property. Based on this, no *Treescape Plan* is required.

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct seven (7) *office/warehouse buildings* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "... building used primarily for the storage and distribution of goods,



merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ...” In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request for seven (7) *office/warehouse buildings* is permitted *by-right* in a Light Industrial (LI) District as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

Staff has identified the following exceptions:

(1) *Building Materials*.

- (a) *Primary Materials*. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach exterior wall of a building’s façade shall consist of a minimum of 90% Primary Materials...” or masonry material. The applicant is proposing 18%-80% secondary materials (*i.e. 18% on the front elevation, 28% on the left and right elevations, and 80% on the rear elevation*) on Buildings 4-7 and 18%-48% secondary materials (*i.e. 18% on the front elevation, 28% on the left and right elevations, and 48% on the rear elevation*) on Buildings 2 & 3. This will require an exception from the Planning and Zoning Commission.

(2) *Building Articulation*.

- (a) *Primary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) *Secondary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the proposed buildings do not meet the projection requirements for secondary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (3) *Loading Dock Screening*. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property.” In this case, the applicant is providing three (3) tiered landscaping along the adjacency except for the area within the FAA restricted area. While this does not meet the requirements, the code does allow the Planning and Zoning Commission to grant an exception to the screening requirements.

- (4) *Driveway Spacing*. According to Figure 2.4, *Minimum Driveway Spacing and Corner Clearance*, of Chapter 02, *Streets*, of the Engineering Department’s *Standards of Design and Construction Manual*, the minimum spacing for driveways on Airport Road is 100-feet. In this case, the eastern driveway is within 100-feet of an adjacent driveway on the adjacent property. This will require a variance from the Planning and Zoning Commission.



According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] plant two (2) additional canopy trees along the east property line behind *Buildings 2 & 3*, [2] provide three (3) tiered screening along the west property line [*this is already a requirement and cannot be considered a compensatory measure*], [3] increase the canopy trees caliper inch from four (4) caliper inches to five (5) caliper inches for the three (3) tiered screening areas, [4] add two (2) benches on the west side of *Building 1* along the landscape detention pond, [5] provide more than the required landscaping [*i.e. they are required 15.00% and are providing 15.36% or 0.36% more than required*], and [6] provide canopy trees on 40-foot centers along the south property line. Staff should point out that they are not providing the required number of compensatory measures, the additional landscaping being provided is nominal compared to the required landscaping percentage, and the three (3) tiered landscaping is already required. In addition, the benches do not appear to directly off-set any of the requested variances; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Central District*. The *Central District* "... is composed of a wide range of land uses that vary from single-family to industrial." In addition, the *Central District* "... incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- *and City* -- in an east/west direction." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing a *Warehouse/Distribution Center* and *Offices*. Based on this, the applicant's land uses appear to conform with the Comprehensive Plan; however, Chapter 9, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one of the goals of commercial building design, buildings should be "... designed and constructed in unity with the community's existing commercial and residential buildings, and should incorporate high quality materials that will minimize the need for maintenance over time." The polices to implement this goal are "... [1] (n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park. [*and*] [2] Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." In this case, the applicant is requesting exceptions to building materials and building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Staff should point out that a similar land use was approved on a property directly east of the subject property, which was required to meet the material requirements of the Light Industrial (LI) District, and which are called for in the Comprehensive Plan. Furthermore, the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, states that one of the guiding concepts of the plan is *Quality and Timelessness*. The plan goes on to state that "(t)he design forms for John King Boulevard should be rooted in Rockwall's strong landscape and heritage, while coexisting comfortably with new development, never looking 'dated.' High quality of materials and construction should be a defining characteristic of new enhancement projects." In this case, the applicant is requesting exceptions to the building materials due to the use of metal. These buildings will be highly visible from John King Boulevard, and do not appear to meet the intent of this corridor plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

### **STAFF ANALYSIS**

The phasing plan provided by the applicant shows *Building 1* being built in the first phase, *Buildings 2 & 3* in the second phase, and *Buildings 4-7* in the final and third phase. Staff should note that the phasing plan only lays out the phasing of the buildings, and all other site plan elements must be constructed with the first phase. This means that with the construction of the first phase all landscaping will be required to be installed. Given this, *Building 1* will be screened from John King Boulevard by the three (3) tiered screening located along the west property line; however, *Buildings 6 & 7 -- included in phase 3 --* will not be screened from John King Boulevard. These buildings along with their loading docks will have direct visibility from John King Boulevard due to the *Runway Protection Zone* of the Ralph Hall Municipal Airport, which does not allow any trees. This



prompted the applicant's request for the exception to the loading dock screening described in the *Variances and Exceptions Requested by the Applicant* section of this case memo. As stated above, the applicant's request appears to be deficient when comparing it to the requirements of the Unified Development Code (UDC) and the policies and goals of the OURHometown Vision 2040 Comprehensive Plan. Staff should also note that the compensatory measures offered with the development do not seem to off-set the requested variances; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On November 28, 2023, the Architecture Review Board reviewed the proposed building elevations provided by the applicant and recommended that the applicant [1] raise the stone wainscot on the rear elevations of *Buildings 2 & 3* to the top of the door frame, [2] add awnings to the doors on the rear elevations of *Buildings 2 & 3*, [3] provide a row of canopy trees behind *Buildings 2 & 3*, and [4] finish the back side of the parapets in the same material as the exterior facing façade. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the December 12, 2023 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of seven (7) *warehouse/office* buildings on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All landscaping shall be installed with *Phase 1* of the proposed development.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Roy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

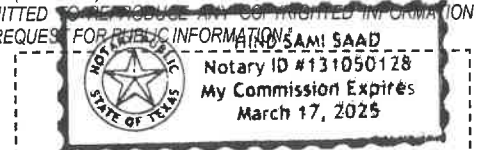
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 10th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF November, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION (ON SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.)"

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF November, 2023

OWNER'S SIGNATURE

*Roy Bhavi*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 3-17-2025





SP2023-044: Site Plan for 1760 Airport Road

AIRPORT RD



AG

LI

LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13750-OE

Issued Date: 09/27/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park  
 Location: Rockwall, TX  
 Latitude: 32-55-32.00N NAD 83  
 Longitude: 96-25-59.20W  
 Heights: 573 feet site elevation (SE)  
 23 feet above ground level (AGL)  
 596 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.



This determination expires on 03/27/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before October 27, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager of the Rules and Regulations Group via e-mail at [OEPetitions@faa.gov](mailto:OEPetitions@faa.gov), via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW, Washington, DC 20591, or via facsimile (202) 267-9328. FAA encourages the use of email to ensure timely processing.

This determination becomes final on November 06, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact



on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13750-OE.

**Signature Control No: 598974876-600361930**

( DNH )

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13751-OE

Issued Date: 09/27/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park Bldg 2  
 Location: Rockwall, TX  
 Latitude: 32-55-30.70N NAD 83  
 Longitude: 96-25-57.70W  
 Heights: 577 feet site elevation (SE)  
 23 feet above ground level (AGL)  
 600 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 03/27/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before October 27, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager of the Rules and Regulations Group via e-mail at [OEPetitions@faa.gov](mailto:OEPetitions@faa.gov), via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW, Washington, DC 20591, or via facsimile (202) 267-9328. FAA encourages the use of email to ensure timely processing.

This determination becomes final on November 06, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact



on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13751-OE.

**Signature Control No: 598974877-600361931**

( DNH )

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13752-OE

Issued Date: 09/27/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park Bldg 3  
 Location: Rockwall, TX  
 Latitude: 32-55-28.50N NAD 83  
 Longitude: 96-25-57.80W  
 Heights: 578 feet site elevation (SE)  
 23 feet above ground level (AGL)  
 601 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.



This determination expires on 03/27/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before October 27, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager of the Rules and Regulations Group via e-mail at [OEPetitions@faa.gov](mailto:OEPetitions@faa.gov), via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW, Washington, DC 20591, or via facsimile (202) 267-9328. FAA encourages the use of email to ensure timely processing.

This determination becomes final on November 06, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact

on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13752-OE.

**Signature Control No: 598974878-600361928**

( DNH )

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13753-OE

Issued Date: 09/27/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park Bldg 4  
 Location: Rockwall, TX  
 Latitude: 32-55-30.50N NAD 83  
 Longitude: 96-25-59.40W  
 Heights: 573 feet site elevation (SE)  
 22 feet above ground level (AGL)  
 595 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 03/27/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before October 27, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager of the Rules and Regulations Group via e-mail at [OEPetitions@faa.gov](mailto:OEPetitions@faa.gov), via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW, Washington, DC 20591, or via facsimile (202) 267-9328. FAA encourages the use of email to ensure timely processing.

This determination becomes final on November 06, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact



on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13753-OE.

**Signature Control No: 598974879-600361932**

( DNH )

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13754-OE

Issued Date: 09/27/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building Flex Space Business Park Bldg 5
Location:	Rockwall, TX
Latitude:	32-55-28.50N NAD 83
Longitude:	96-25-59.50W
Heights:	574 feet site elevation (SE) 22 feet above ground level (AGL) 596 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.



This determination expires on 03/27/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before October 27, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager of the Rules and Regulations Group via e-mail at [OEPetitions@faa.gov](mailto:OEPetitions@faa.gov), via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW, Washington, DC 20591, or via facsimile (202) 267-9328. FAA encourages the use of email to ensure timely processing.

This determination becomes final on November 06, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact

on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13754-OE.

**Signature Control No: 598974880-600361929**

( DNH )

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13755-OE

Issued Date: 11/08/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park Bldg 6  
 Location: Rockwall, TX  
 Latitude: 32-55-28.60N NAD 83  
 Longitude: 96-26-00.50W  
 Heights: 573 feet site elevation (SE)  
 23 feet above ground level (AGL)  
 596 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

This determination expires on 05/08/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is subject to review if an interested party files a petition that is received by the FAA on or before December 08, 2023. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager, Rules and Regulations Group via email at OEPetitions@faa.gov, or via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, Room 425, 800 Independence Ave, SW., Washington, DC 20591. FAA encourages the use of email to ensure timely processing.

This determination becomes final on December 18, 2023 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. Any questions regarding your petition, contact Rules and Regulations Group via telephone (202) 267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed



structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13755-OE.

**Signature Control No: 598974881-604223805**

( DNH )

David Maddox

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Case Description

Map(s)



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-ASW-13756-OE

Issued Date: 11/08/2023

Deepak Bhavi  
 Deepak Bhavi  
 835 Tillman Drive  
 Allen, TX 75013

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Flex Space Business Park Bldg 7  
 Location: Rockwall, TX  
 Latitude: 32-55-30.50N NAD 83  
 Longitude: 96-26-00.40W  
 Heights: 572 feet site elevation (SE)  
 23 feet above ground level (AGL)  
 595 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

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- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

This determination expires on 05/08/2025 unless:



- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

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This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

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structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

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If we can be of further assistance, please contact Andrew Hollie, at (817) 222-5933, or [andrew.hollie@faa.gov](mailto:andrew.hollie@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASW-13756-OE.

**Signature Control No: 598974882-604223804**

( DNH )

David Maddox

Manager, Obstruction Evaluation Group

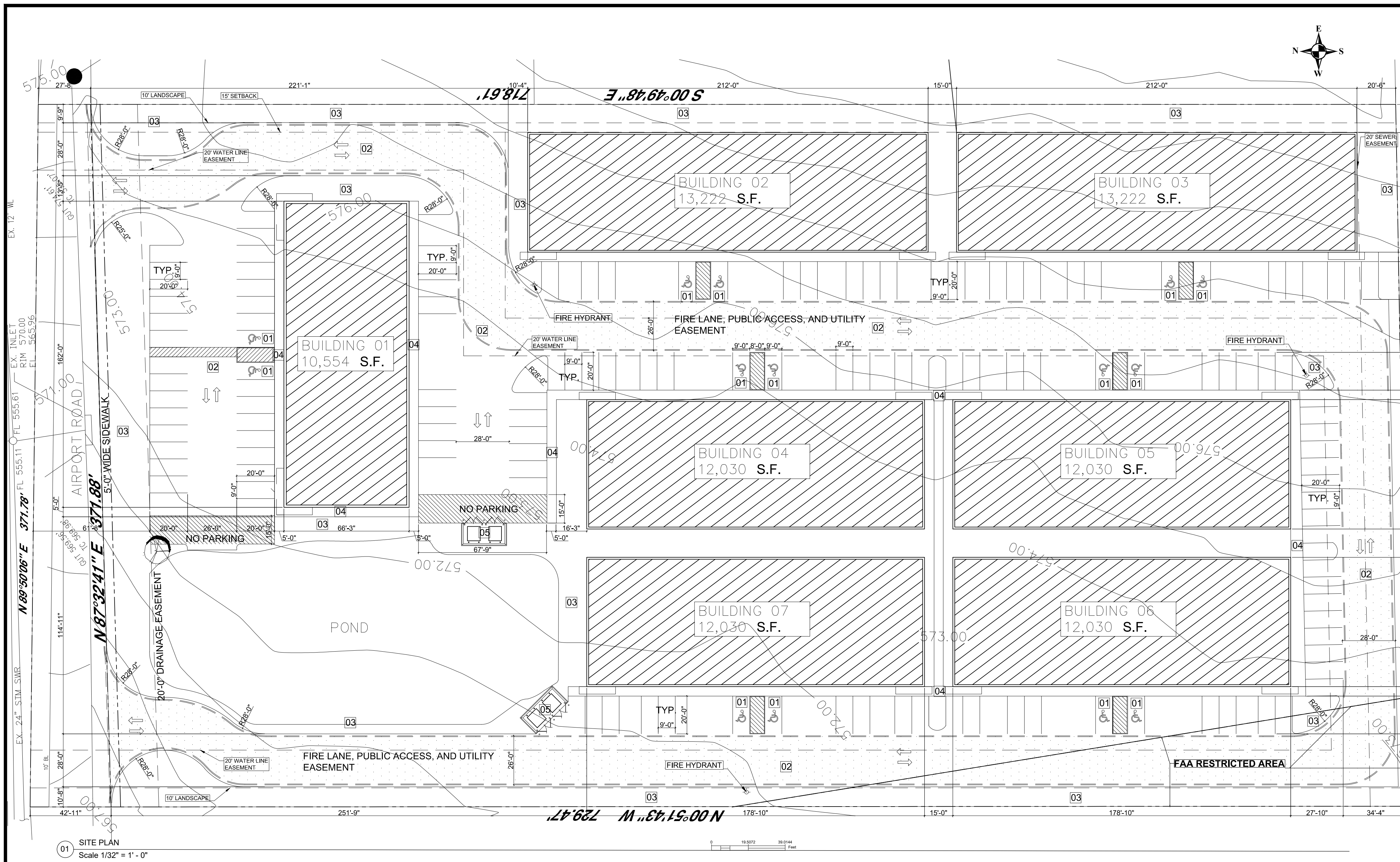
Attachment(s)

Additional Information

Case Description

Map(s)





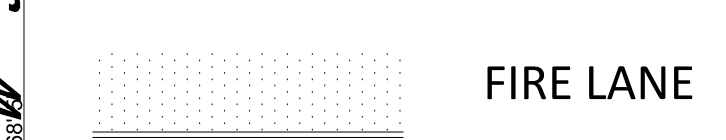
**ADA & TAS**

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND 0 HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE - TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

**FIRE LANE**



**NOTE PARKING**

- NOTE 1:  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

**PARKING REQUIREMENT**

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 : 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

**GENERAL NOTES**

- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

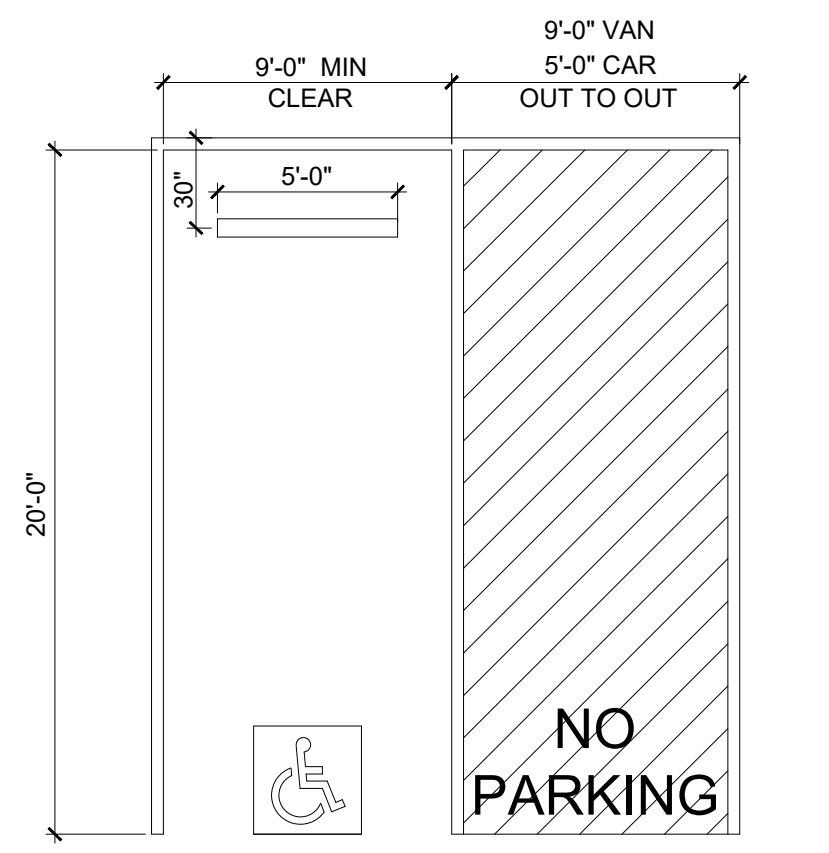
GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

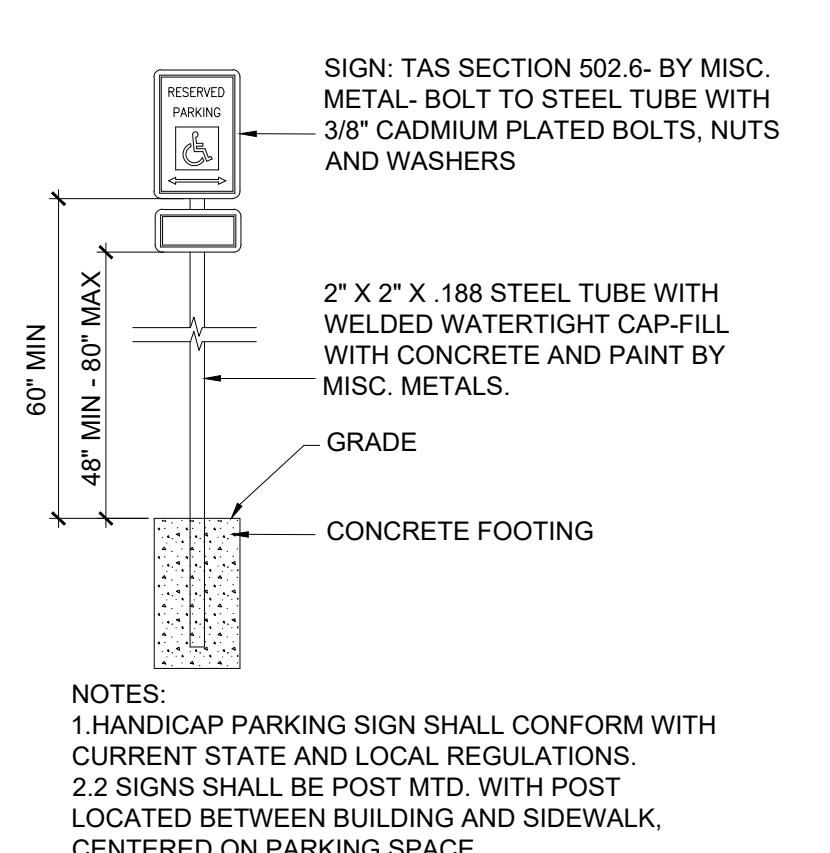
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

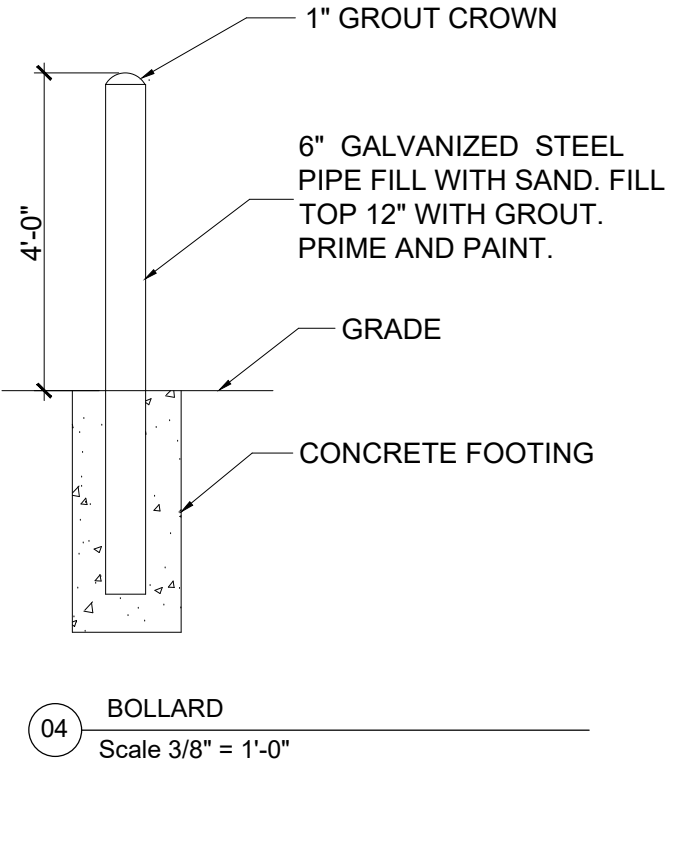
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

**RS&G ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 11/30/23

11/30/2023

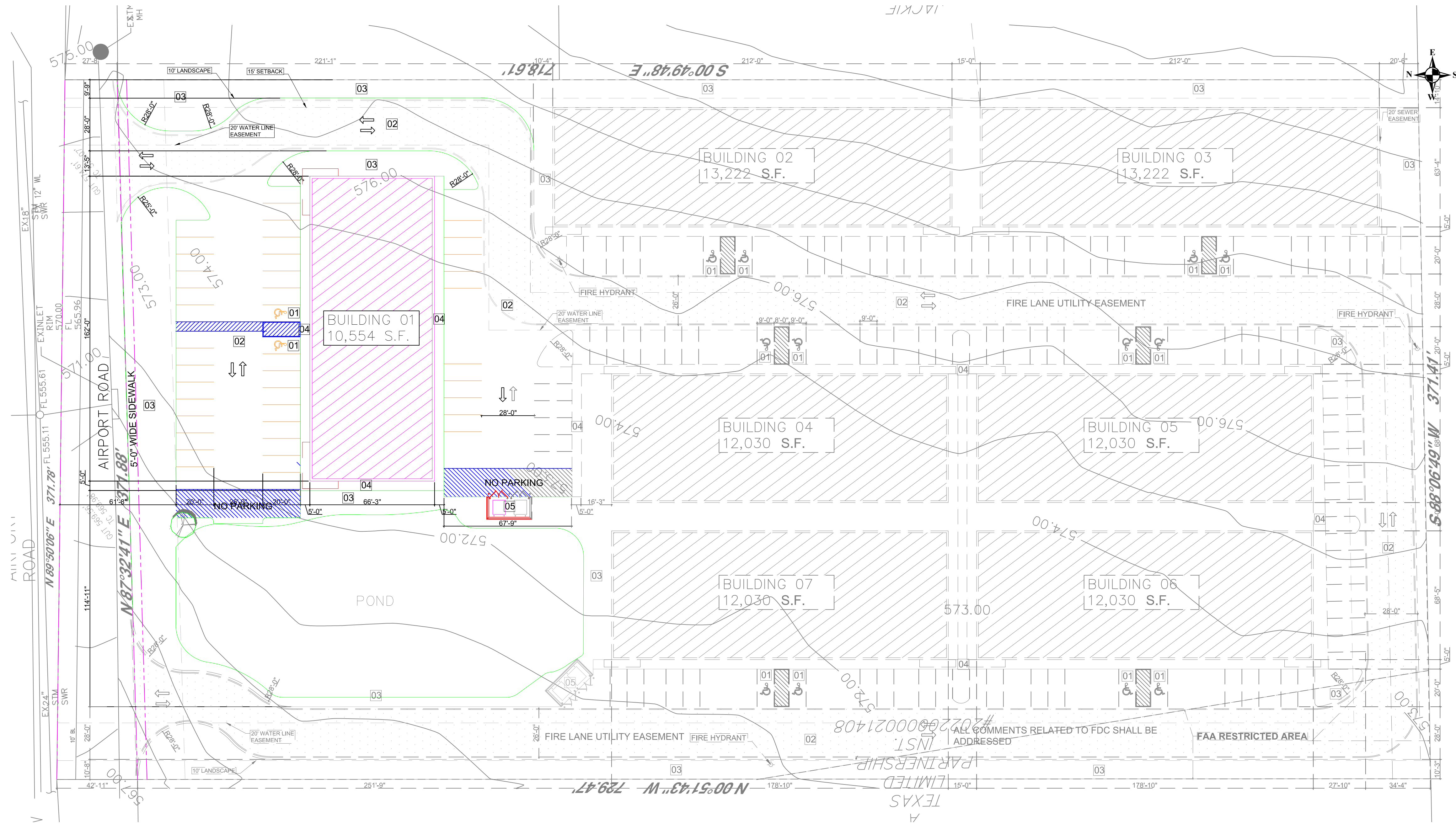
SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.1

(SP2023-044)





01 PHASE 1: SITE PLAN  
Scale 1/32" = 1' - 0"

**COLORED DETAIL REPRESENTS PHASE 1**

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission, Chairman

**RSG ENGINEERING**



13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

TBPE FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**

at  
**0 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS

ISSUE DATE: 08/28/23



08/28/2023

PHASE 1  
SITE PLAN

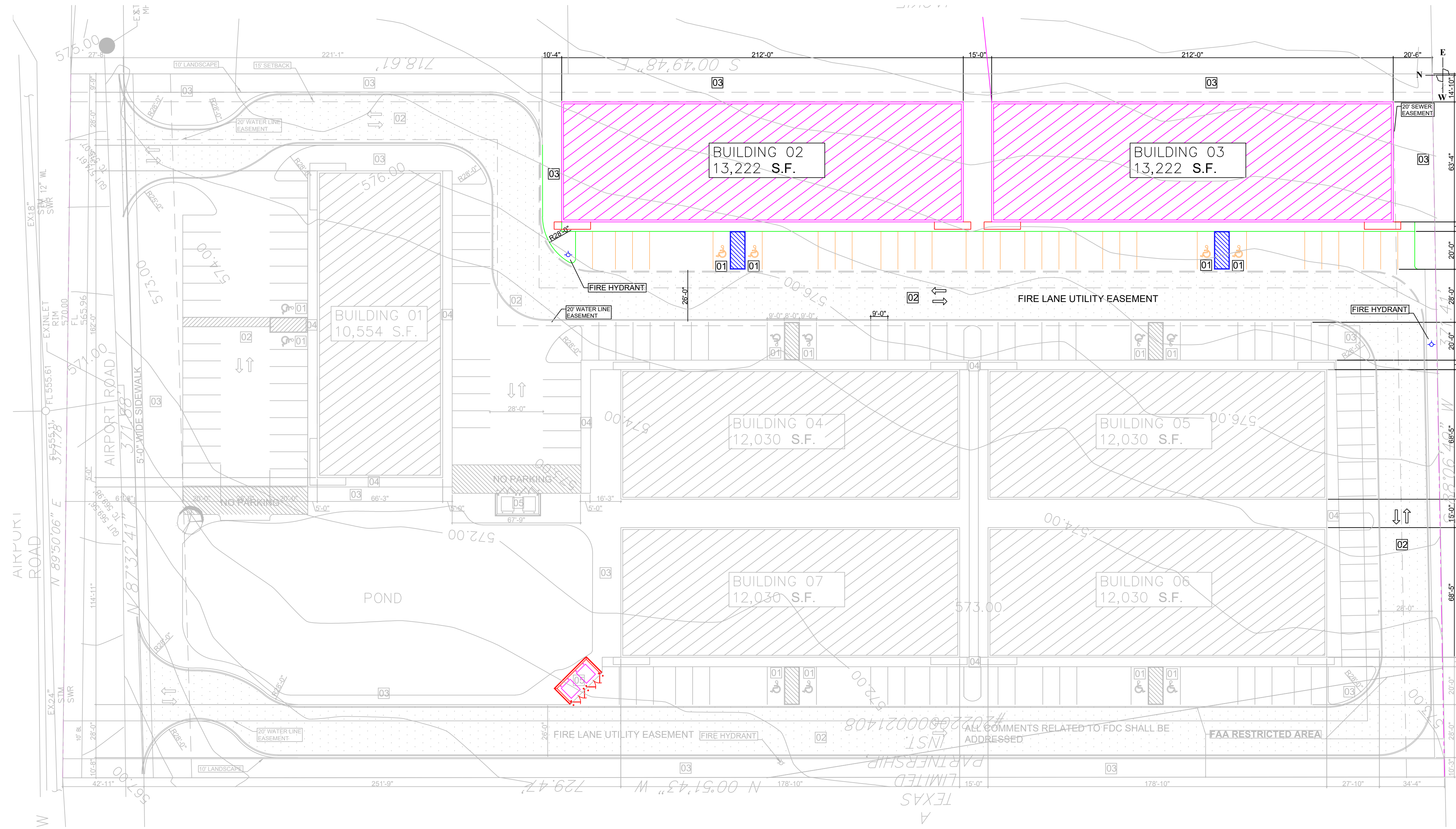
DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A0.1

SP2023-028





01 FUTURE PHASES: SITE PLAN  
Scale 1/32" = 1' - 0"

**COLORED DETAIL REPRESENTS Phase2: BUILDINGS 02,03  
(NUMBER OF PHASES & BUILDINGS IN EACH PHASE TO BE DECIDED)**

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission, Chairman

REVISIONS

ISSUE DATE: 08/28/23



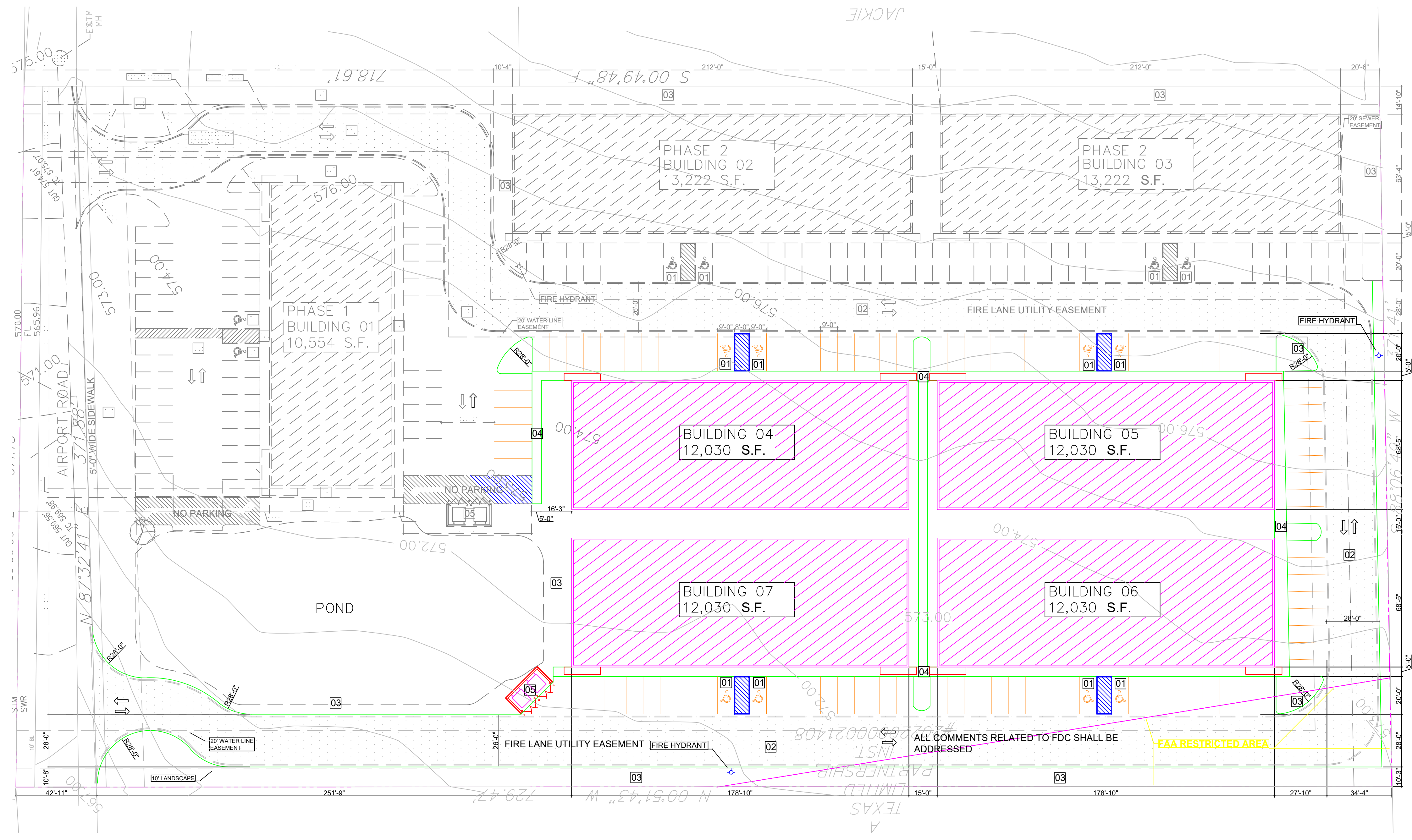
PHASE 2  
SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.1

SP2023-028





01 PHASE 3: SITE PLAN  
Scale 1/32" = 1' - 0"

**COLORED DETAIL REPRESENTS PHASE 3**

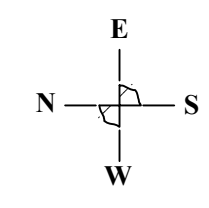
GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission, Chairman \_\_\_\_\_



REVISIONS

ISSUE DATE: 08/07/23

05/19/2023  
SALIM NAZHI OBEID  
LICENSED PROFESSIONAL ENGINEER  
118088

PHASE 3  
SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.1



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

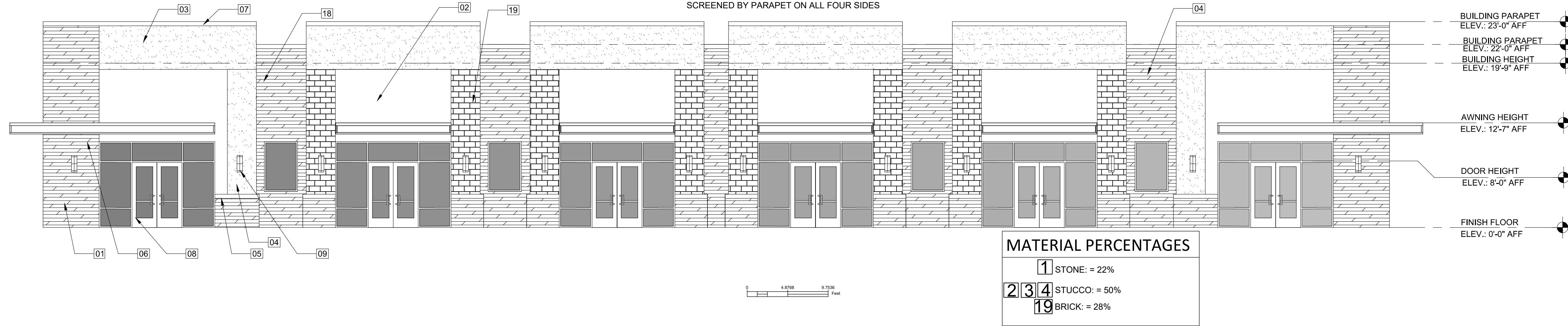
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES



- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 22'-0" AFF
- BUILDING HEIGHT ELEV.: 19'-9" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

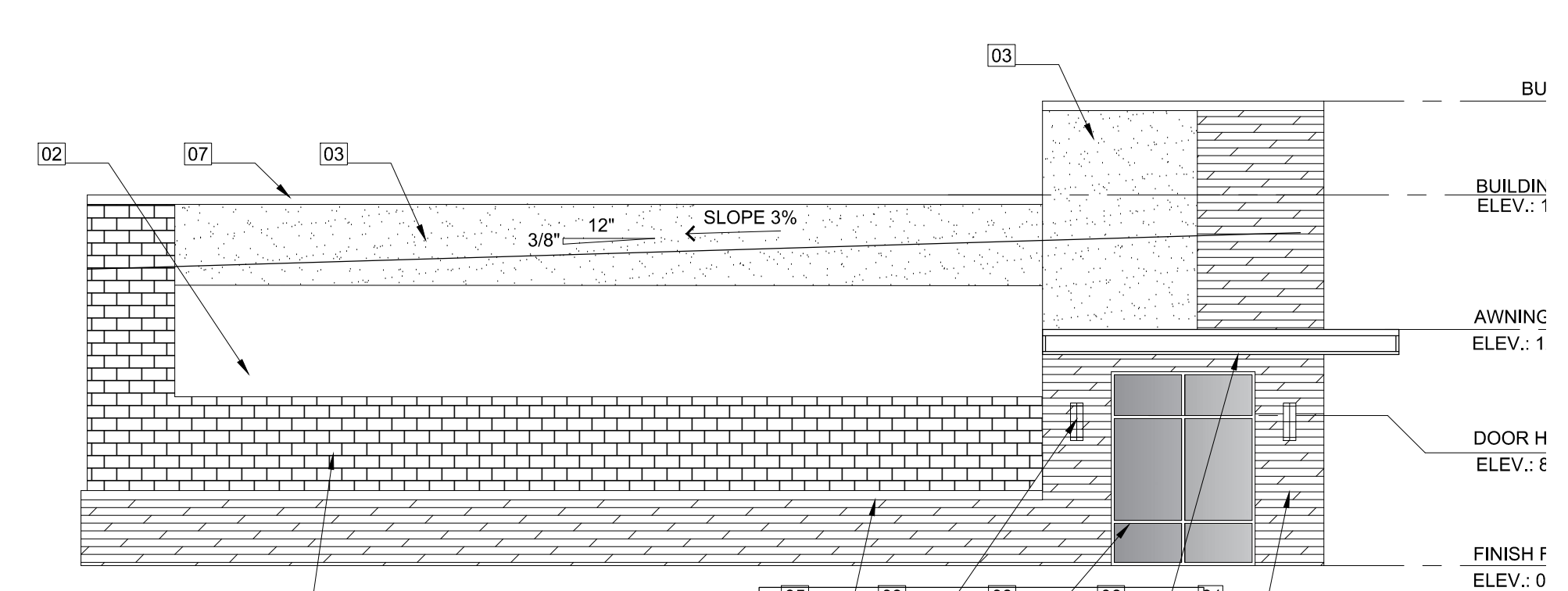
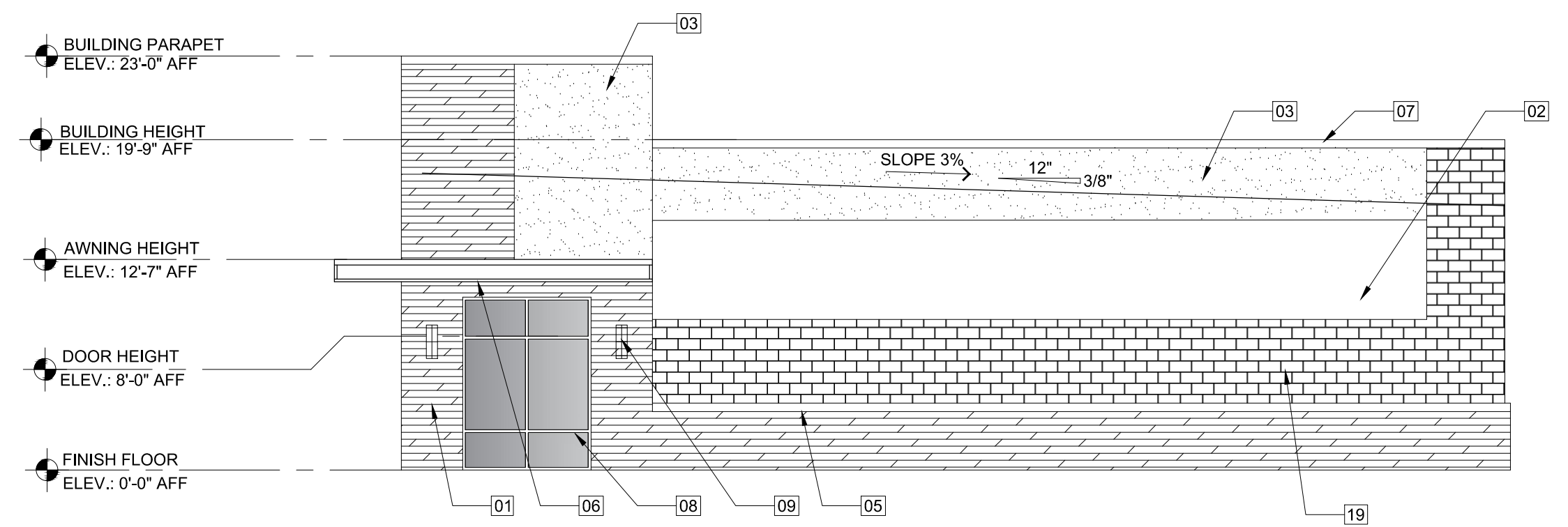
1	STONE = 22%
2, 3, 4	STUCCO = 50%
19	BRICK = 28%

**GENERAL NOTES**

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

1	STONE = 24%
2, 3	STUCCO = 50%
19	BRICK = 26%

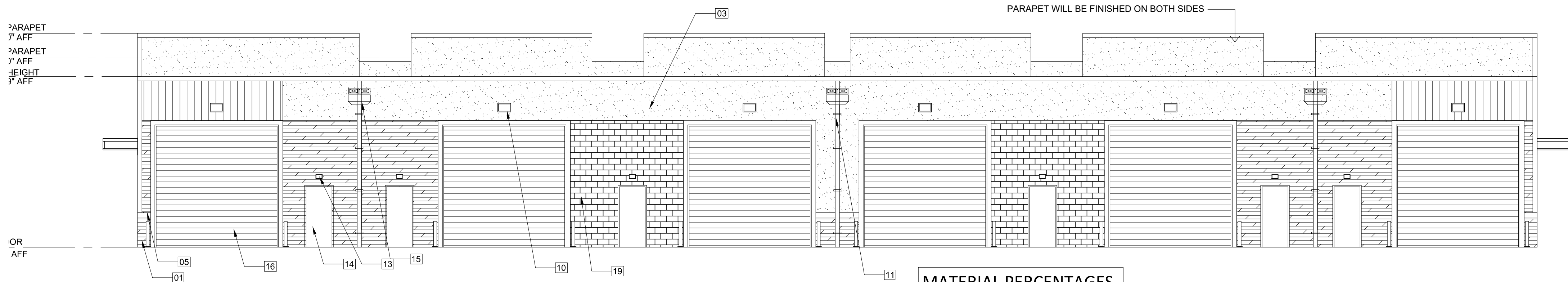
03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

1	STONE = 24%
2, 3	STUCCO = 50%
19	BRICK = 26%

**EXTERIOR ELEVATION KEY NOTES**

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- METAL COPING, COLOR: SW 7076 (CYBERSPACE)
- WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
- WALL SCONCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)
- 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBALTAR)



**MATERIAL PERCENTAGES**

1	STONE = 21%
3	STUCCO = 50%
19	BRICK = 20%
18	METAL = 9%

04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

REVISIONS


ISSUE DATE: 12/04/23

BUILDING 01

12/04/2023

EXTERIOR ELEVATIONS

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- 3 CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- 4 STUCCO COLOR: SW 6257 (GIBRALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING, COLOR: SW 7076 (CYBERSPACE)
- 8 WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 SCUPPER
- 16 OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 19 ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)
- 20 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

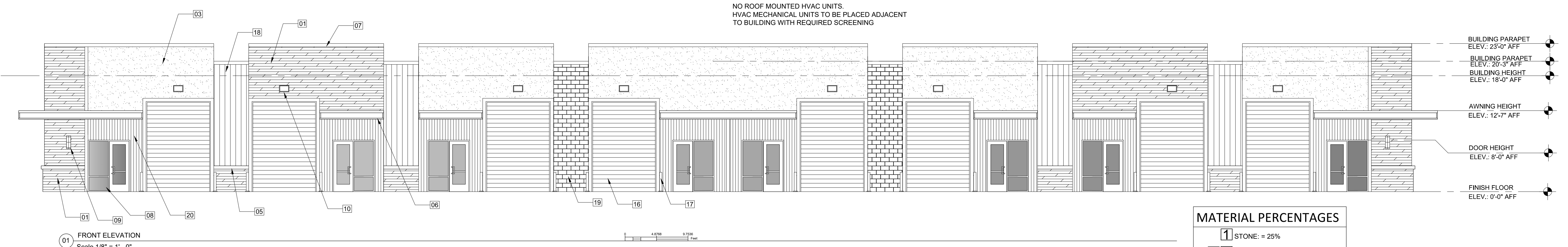
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

- GENERAL NOTES**
1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
  2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
  3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
  4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
  5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
  6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

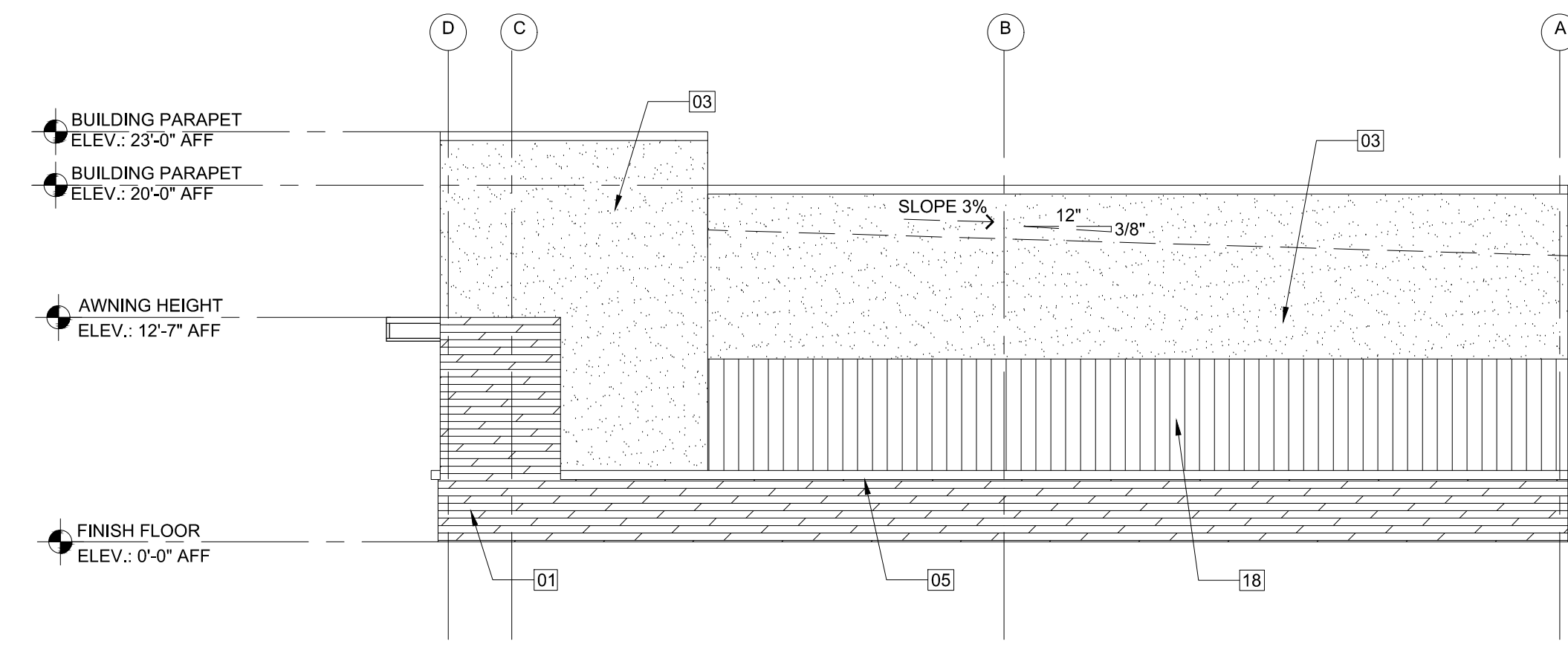


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

1	STONE = 25%
3/4	METAL SIDING = 18%
2/1	STUCCO = 50%
2/2	BRICK = 7%

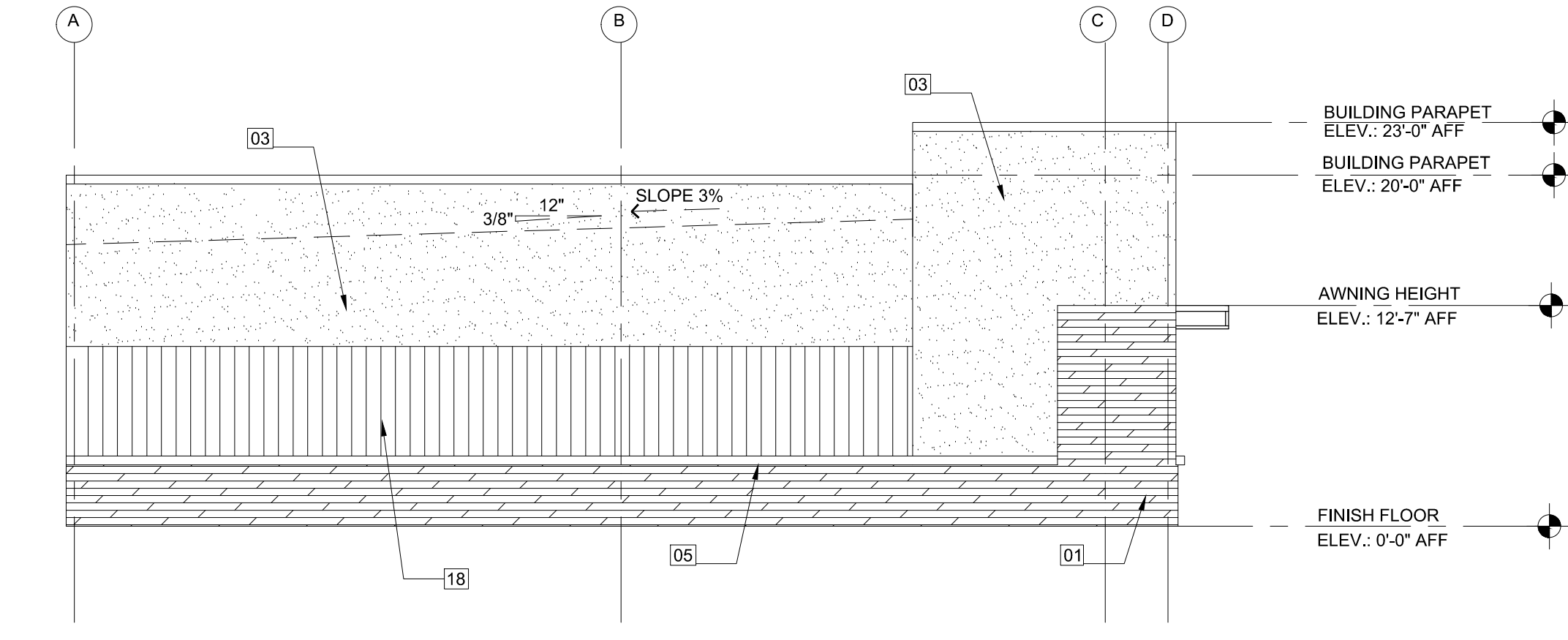
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

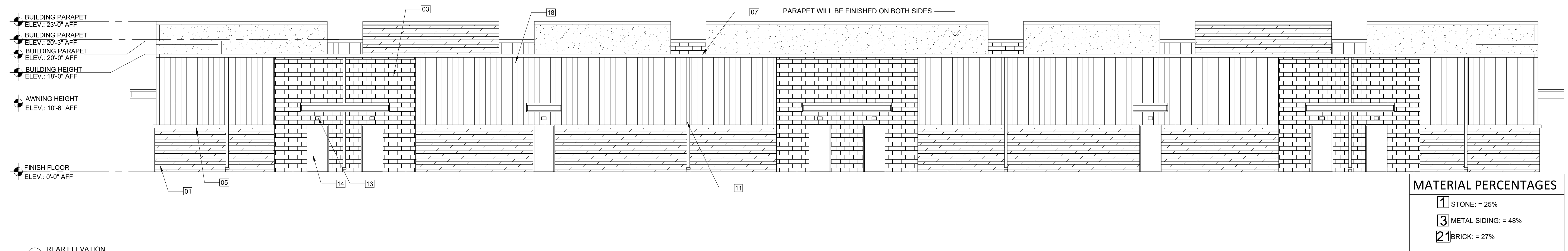
1	STONE = 22%
3	METAL SIDING = 28%
2/1	STUCCO = 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

1	STONE = 22%
3	METAL SIDING = 28%
2/1	STUCCO = 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

1	STONE = 25%
3	METAL SIDING = 48%
2/1	BRICK = 27%

REVISIONS	

ISSUE DATE: 12/01/23

BUILDINGS 02 & 03

12/01/2023

EXTERIOR ELEVATIONS

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A2.0



**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- 3 CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- 4 STUCCO COLOR: SW 6257 (GIBRALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING, COLOR: SW 7076 (CYBERSPACE)
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCIENCE
- 10 WALL PACK LIGHT

- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 SCUPPER
- 16 OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 3/2 CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 19 ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)
- 20 3/2 CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
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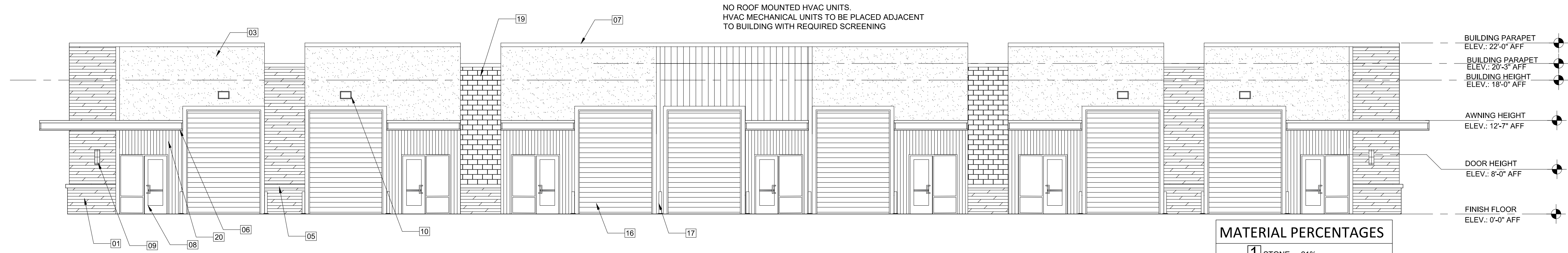
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



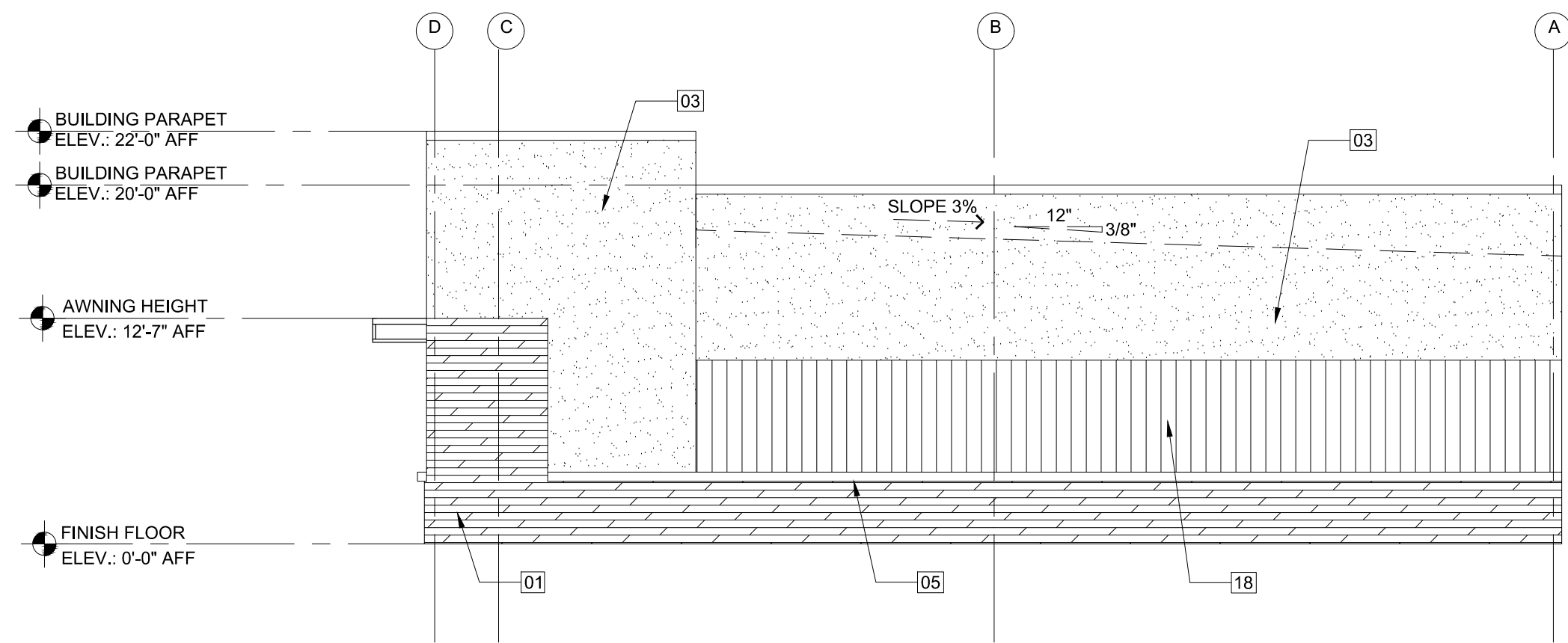
- BUILDING PARAPET ELEV.: 22'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

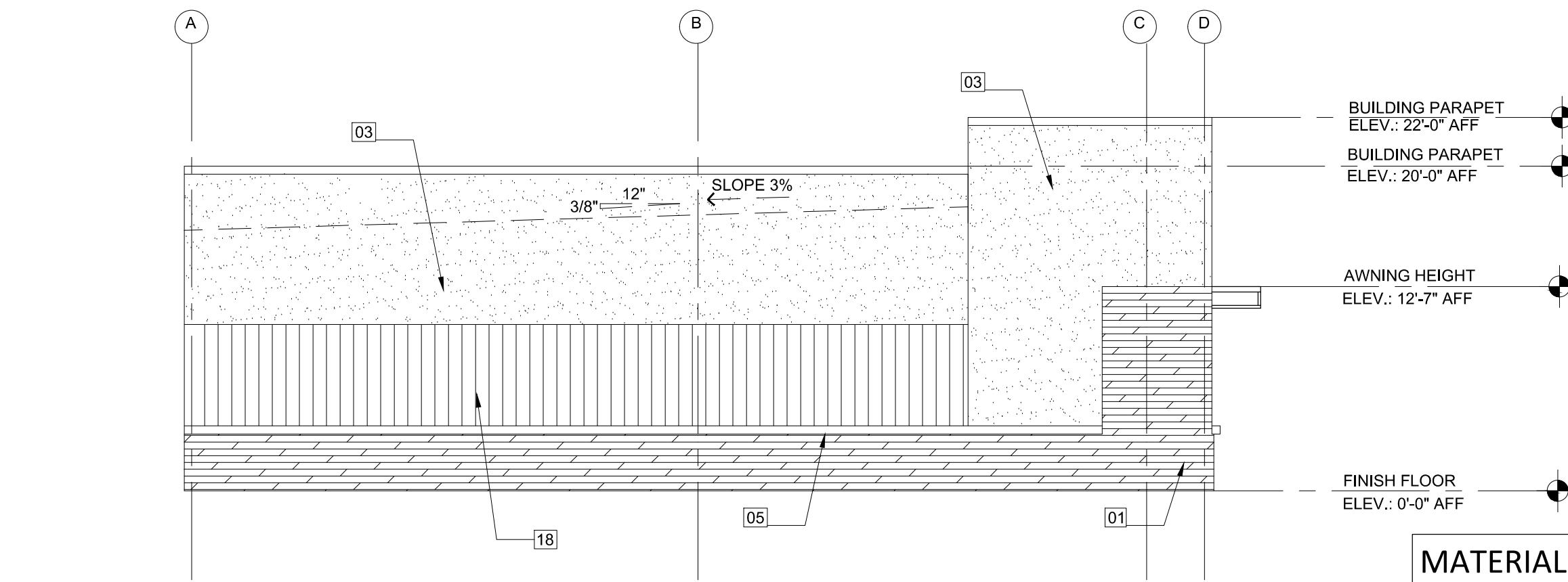
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

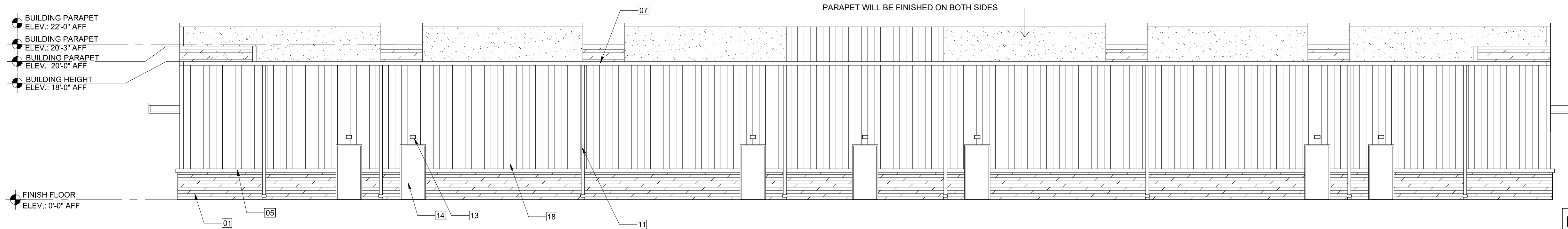
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: = 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: = 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777



project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
**1760 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS

ISSUE DATE: 12/04/23

BUILDINGS  
04, 05, 06 & 07



12/04/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0



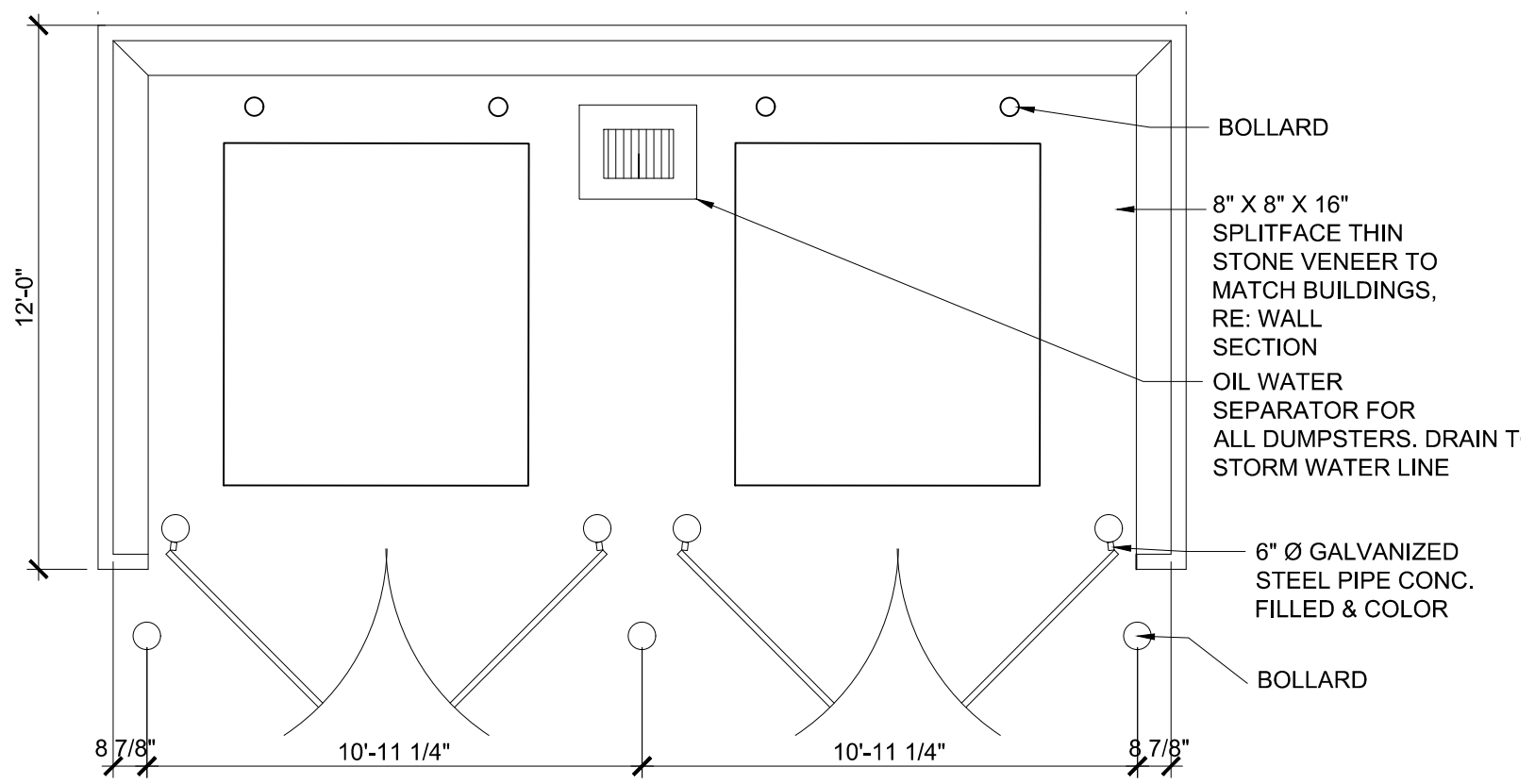
NO.	REVISIONS

ISSUE DATE: 11/30/23

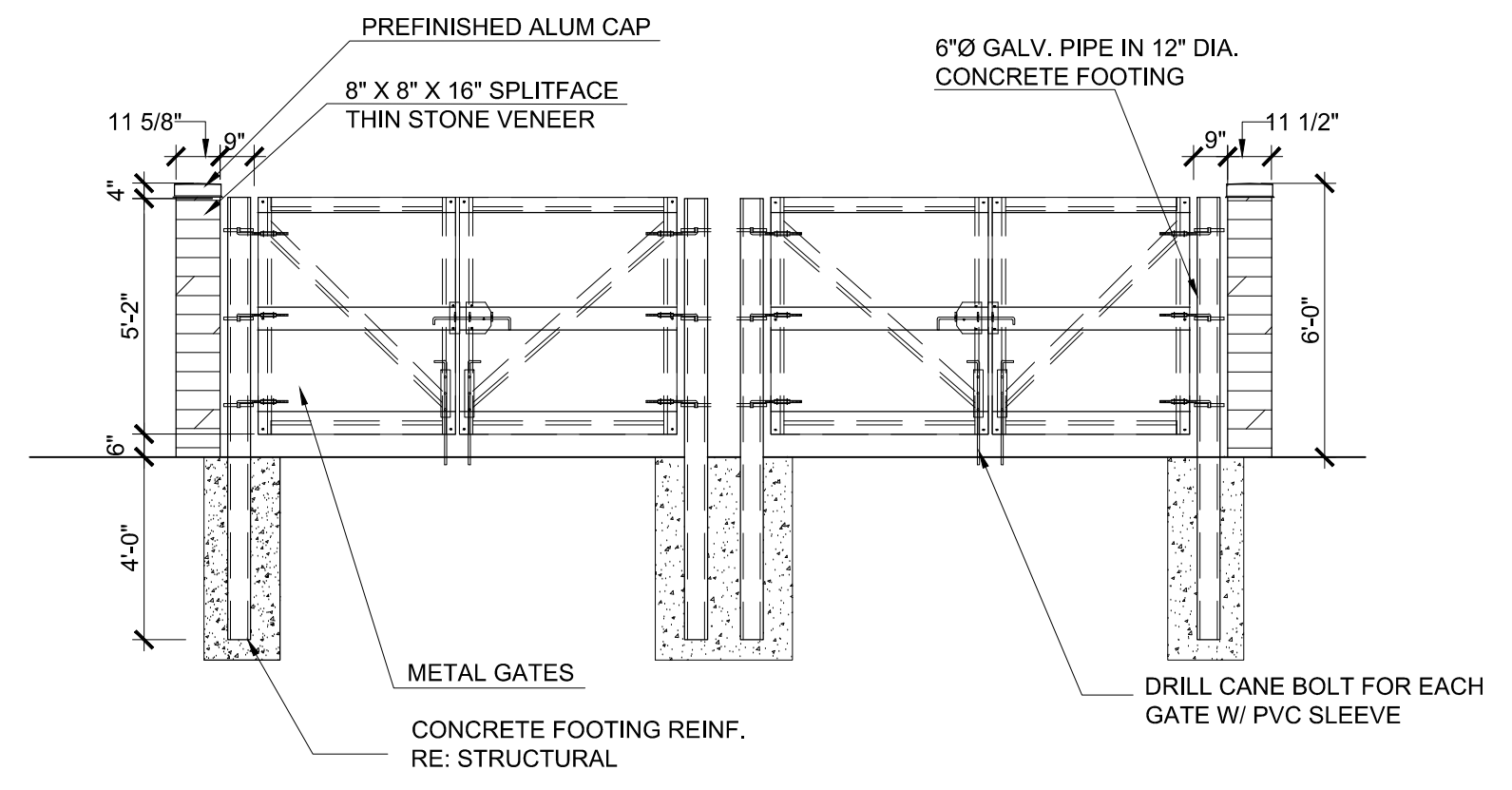
11/30/2023

DUMPSTER DETAIL

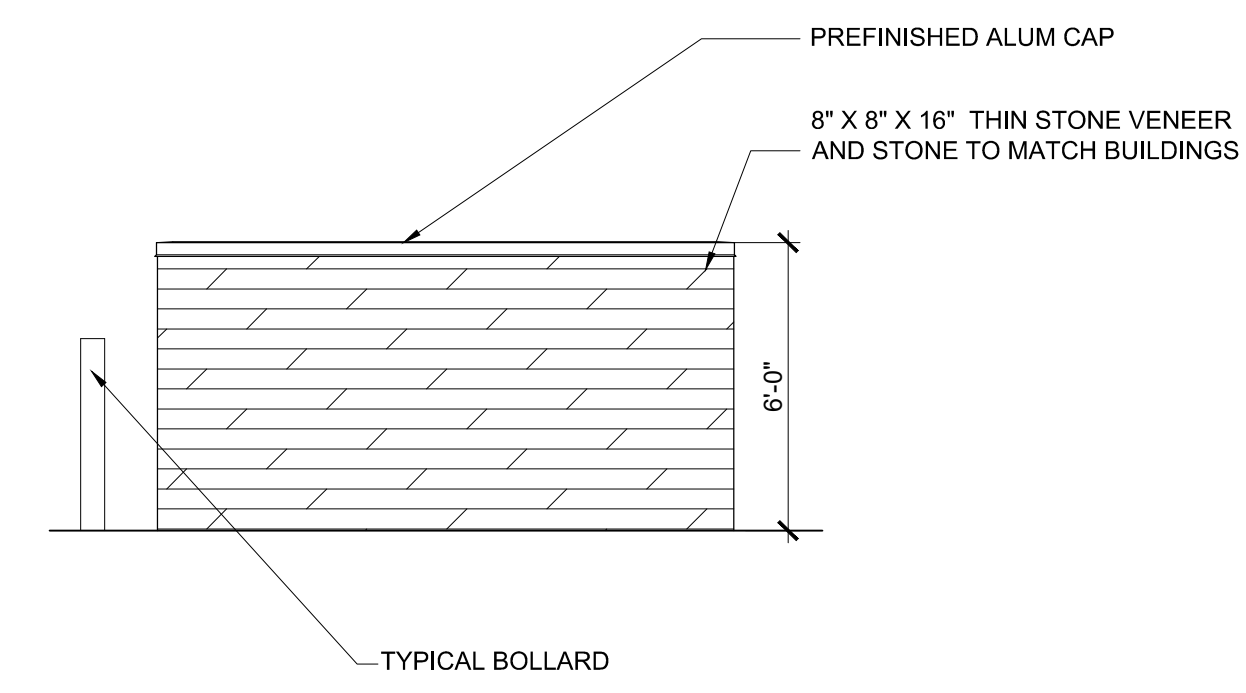
DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A0.2



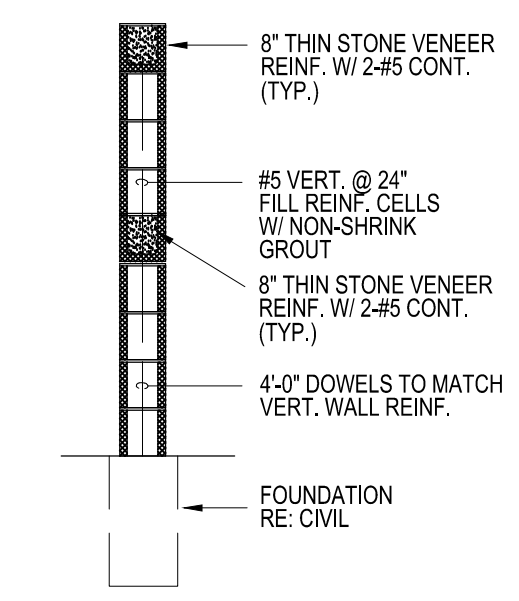
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

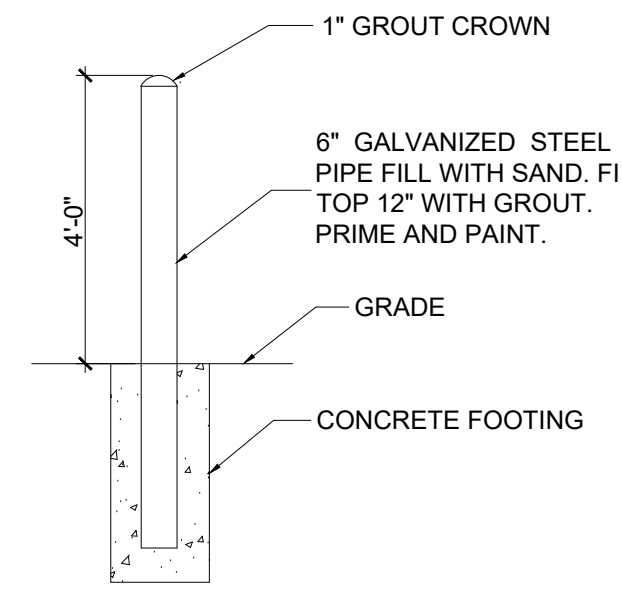
SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



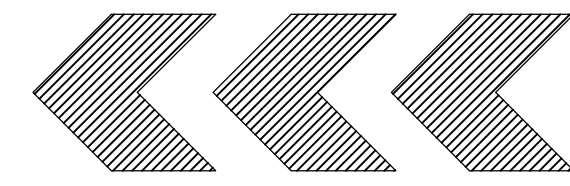
05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER
- DUMPSTER ENCLOSURE GATES TO HAVE A SELF-LATCHING MECHANISM
- NO OUTSIDE STORAGE PERMITTED

(SP2023-044)





RS&G ENGINEERING

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #: 15498

ROCKWALL INDUSTRIAL  
BUILDINGS ON SITE

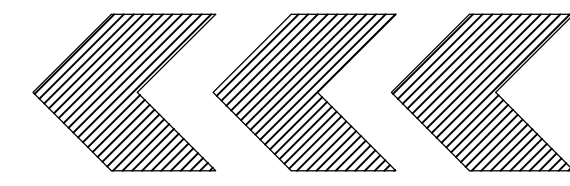
IMAGES

PROJECT No:

SHEET No:

01





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13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #: 15498

ROCKWALL INDUSTRIAL  
NORTH JOHN KING BLVD.

IMAGES

PROJECT No:

SHEET No:

01





IMAGES

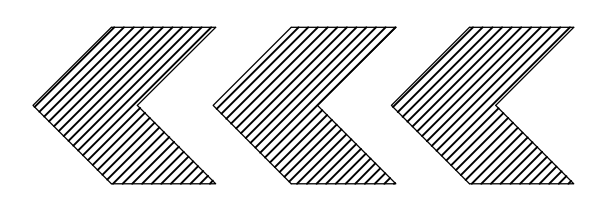
ROCKWALL INDUSTRIAL  
SOUTH JOHN KING BLVD.

PROJECT No:  
SHEET No:  
01

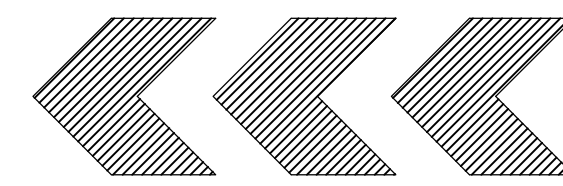
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TBPE FIRM #: 15498







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SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #: 15498

ROCKWALL INDUSTRIAL  
ALLEY VIEW

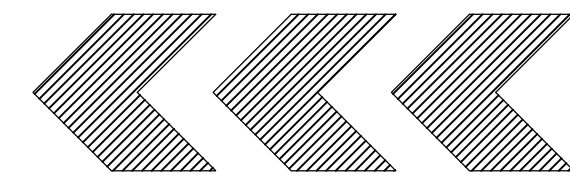
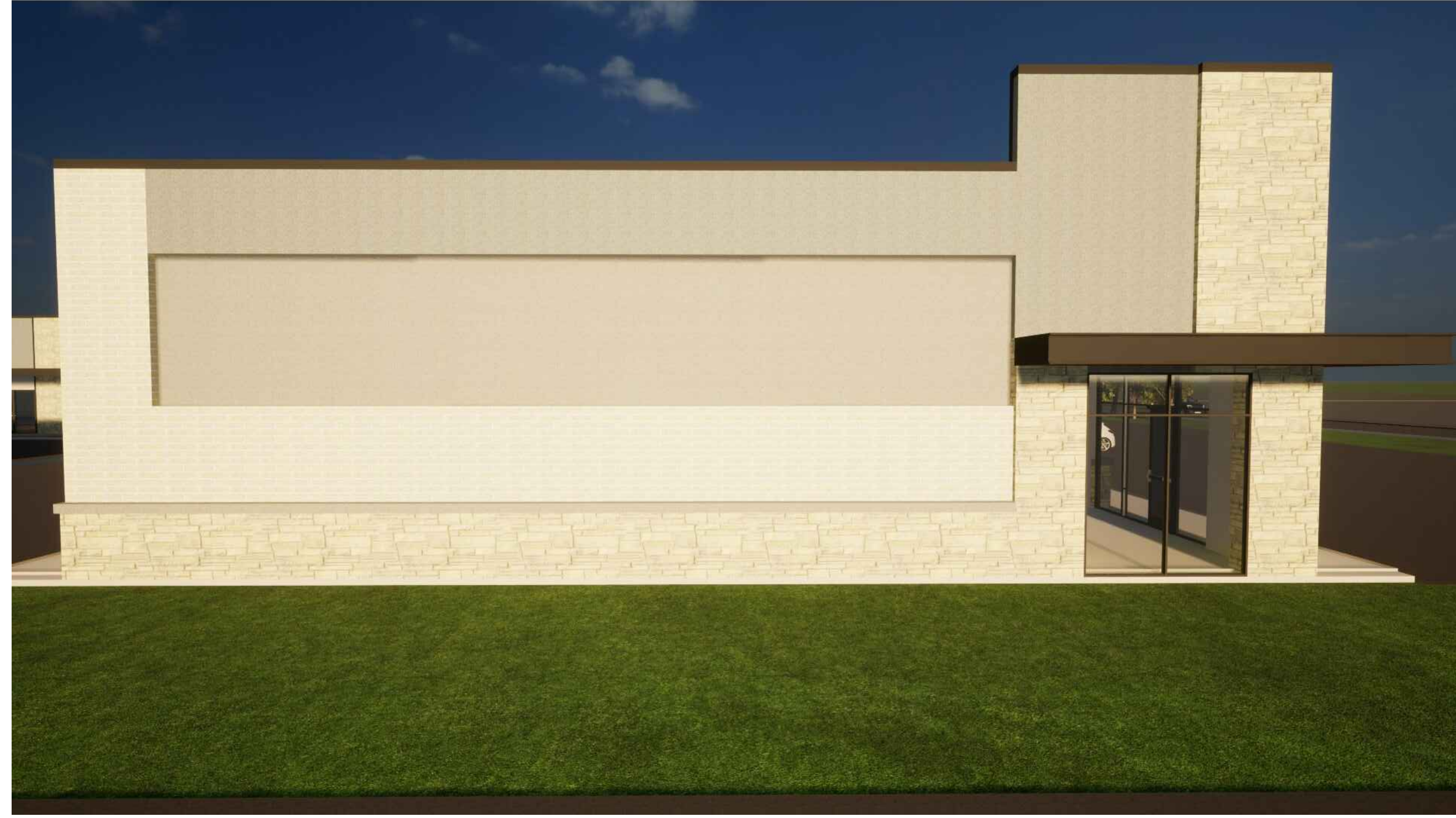
IMAGES

PROJECT No:

SHEET No:

01





**RSG ENGINEERING**

13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-783-7777

TBPE FIRM #: 15498

ROCKWALL INDUSTRIAL  
 BUILDING 01

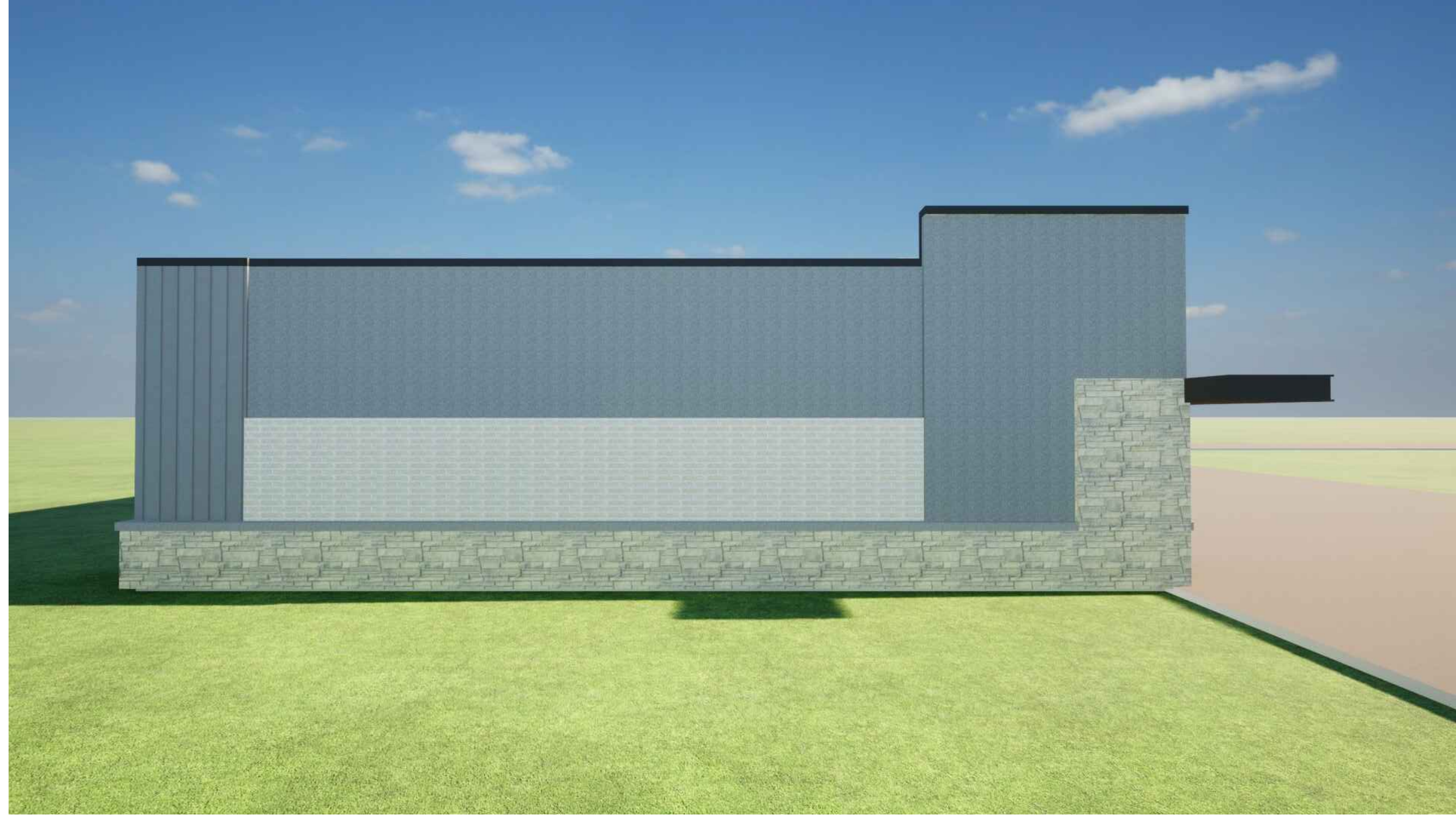
IMAGES

PROJECT No:

SHEET No:

01





RS&G ENGINEERING

ROCKWALL INDUSTRIAL  
BUILDING 02,03

IMAGES

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SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

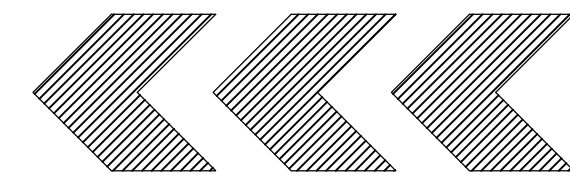
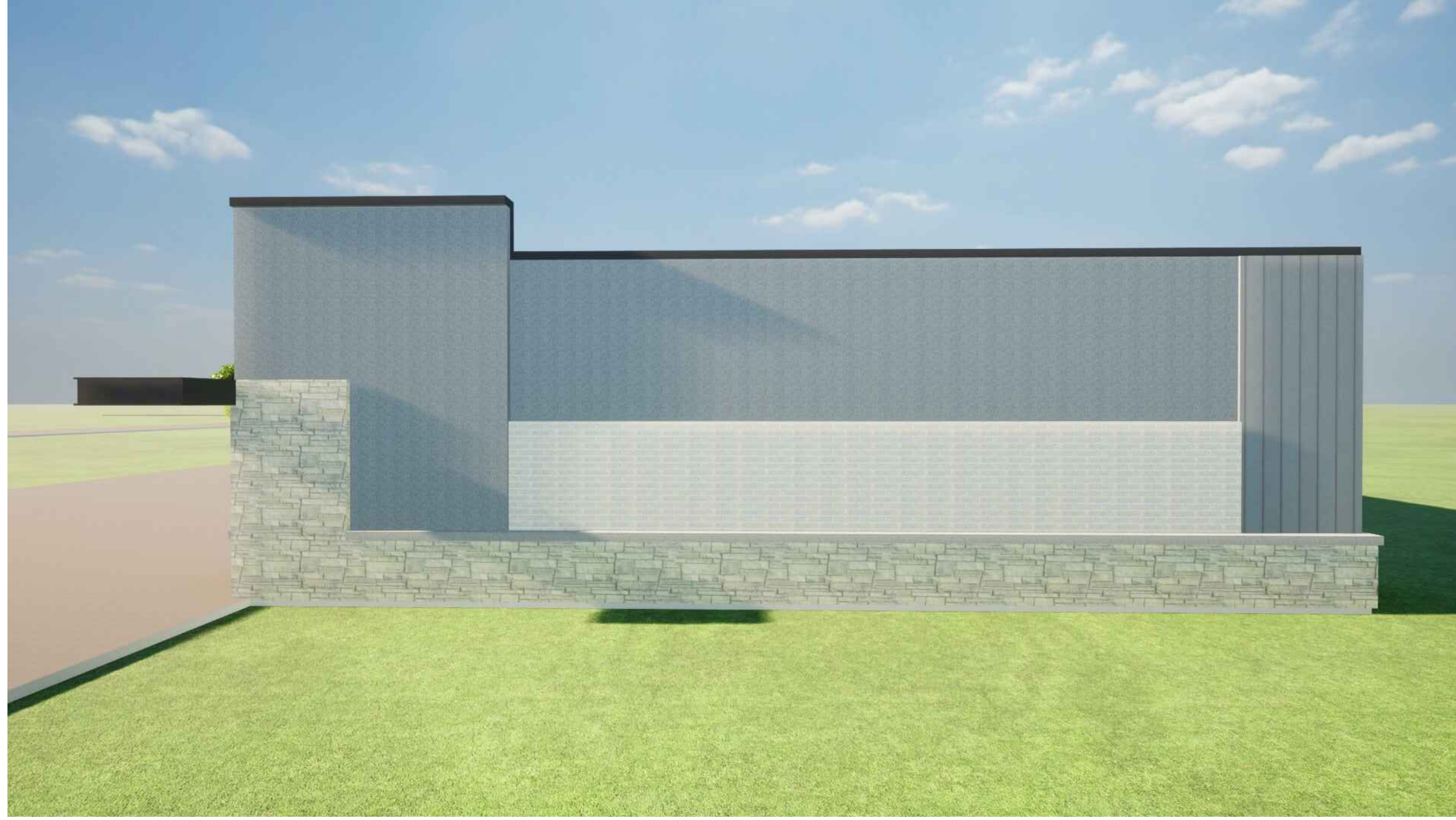
TBPE FIRM #: 15498

PROJECT No:

SHEET No:

01





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TBPE FIRM #: 15498

ROCKWALL INDUSTRIAL  
BUILDING 04,05,06,07

IMAGES

PROJECT No:

SHEET No:

01





BUILDING 01 DETAIL



BUILDING 02,03 DETAIL



BUILDING 04,05,06,07 DETAIL

IMAGES

PROJECT No:

SHEET No:

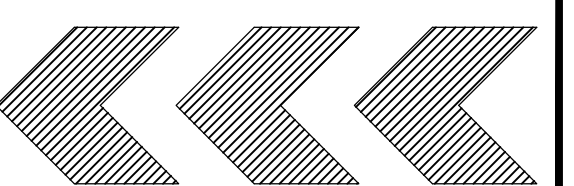
01

ROCKWALL INDUSTRIAL  
BUILDING DETAILS

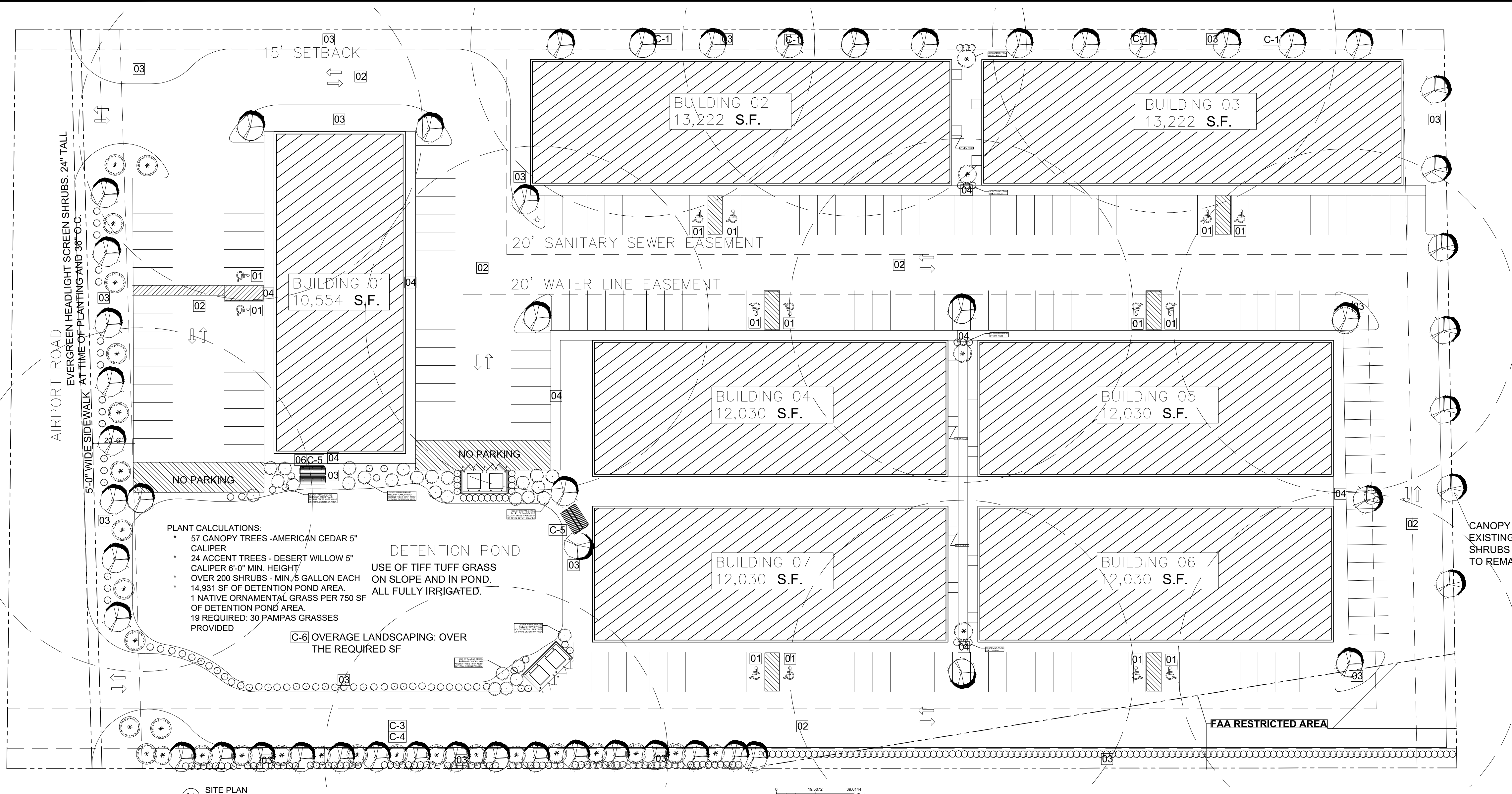
RS&G ENGINEERING

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #: 15498







**PLANT CALCULATIONS:**

- 57 CANOPY TREES - AMERICAN CEDAR 5" CALIPER
- 24 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

**USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.**

**C-6 OVERAGE LANDSCAPING: OVER THE REQUIRED SF**

**SYMBOL LEGEND**

	CANOPY TREE - AMERICAN CEDAR
	ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
	PAMPAS GRASS
	SHRUB
	PUBLIC BENCH

- KEYED NOTES**
- 01 - HANDICAP SYMBOL & SIGN
  - 02 - PAVING
  - 03 - LANDSCAPING
  - 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
  - 05 - DUMPSTER
  - C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
  - C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
  - C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
  - C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

**IMPERVIOUS COVERAGE**

TOTAL PROPERTY AREA: 269,076 SF  
 TOTAL IMPERVIOUS COVER: 205,736 SF  
 TOTAL PERVIOUS COVER: 63,340 SF  
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**LANDSCAPE CALCULATIONS**

SITE AREA: 6.18 A.C.  
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

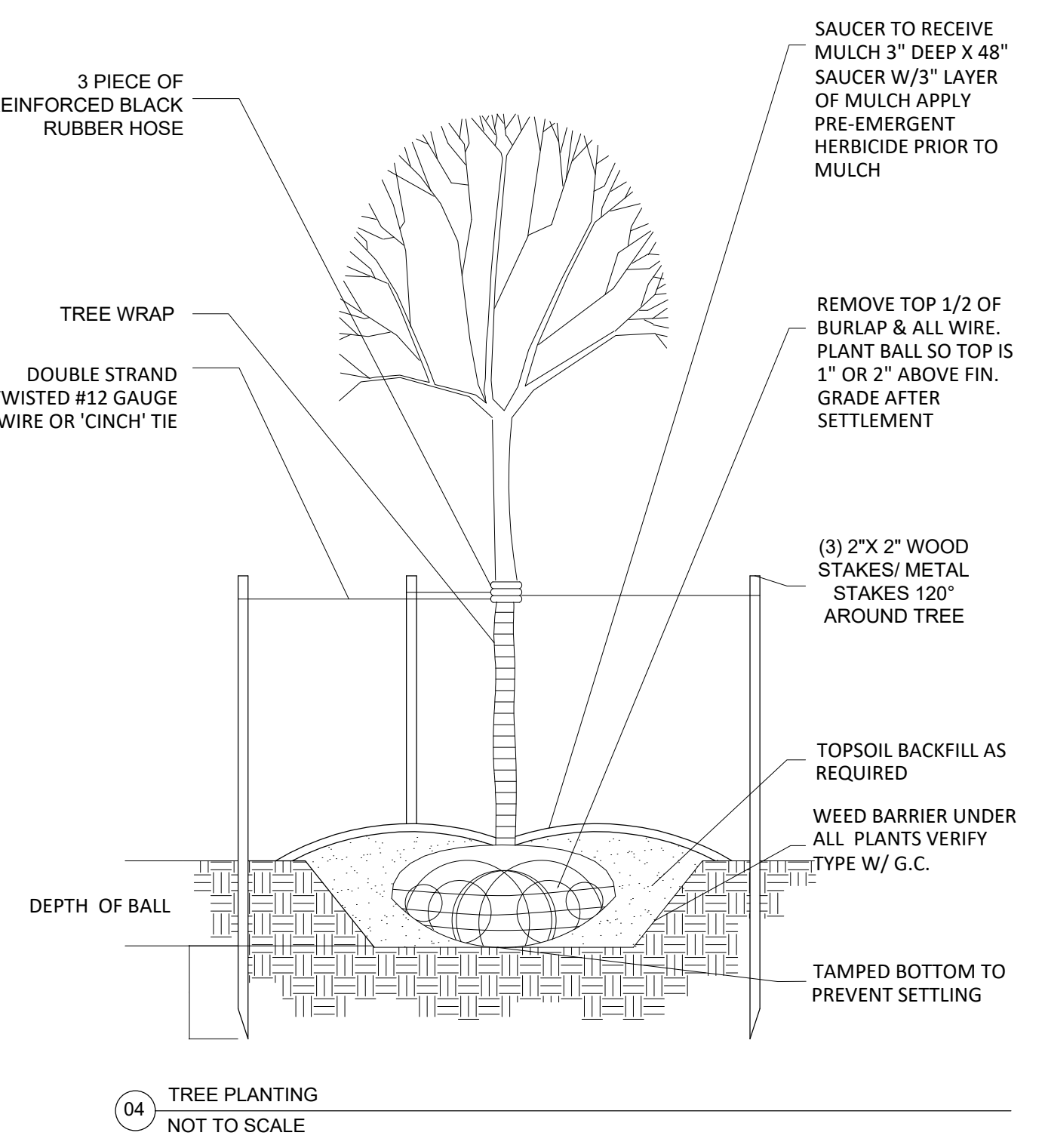
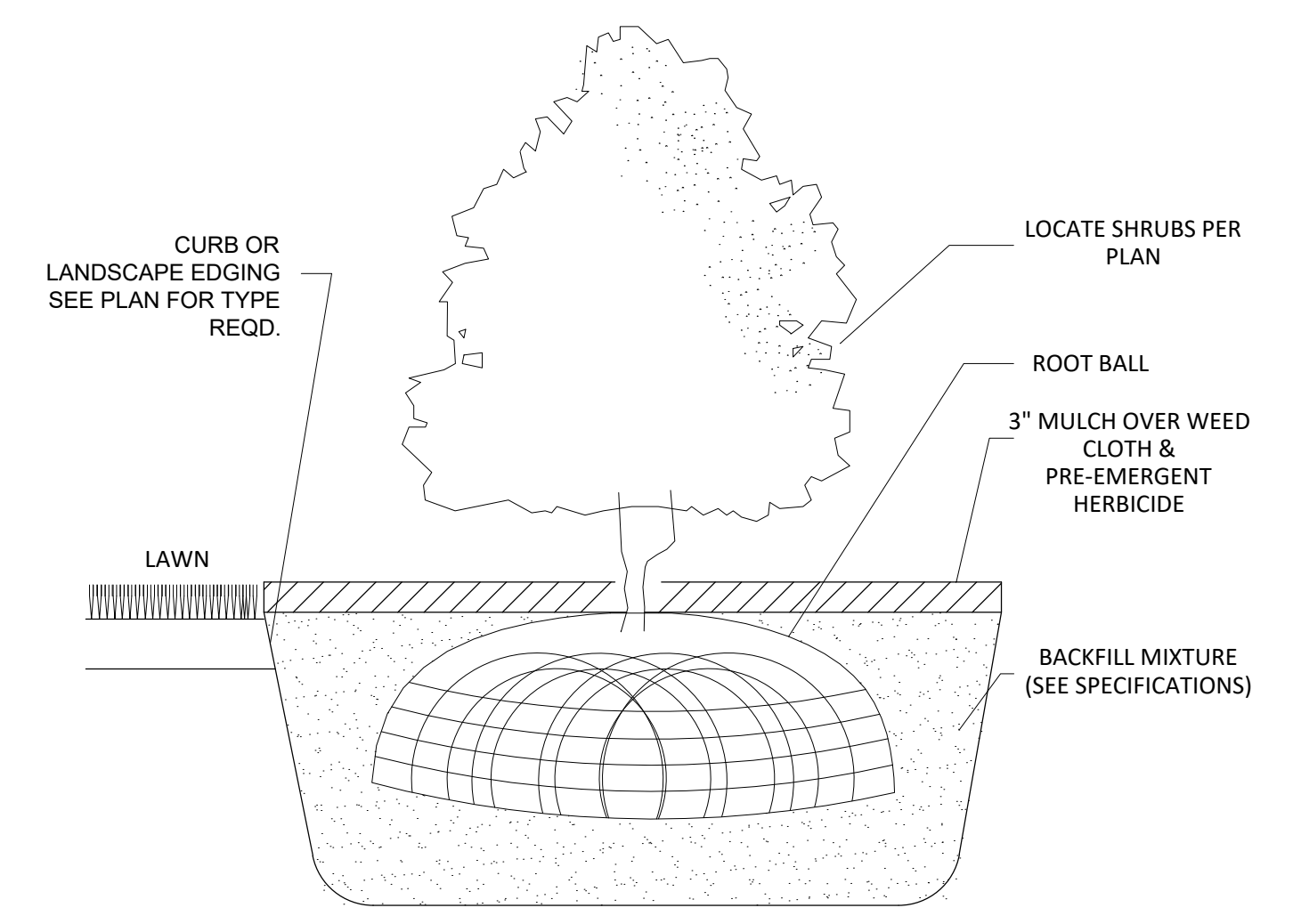
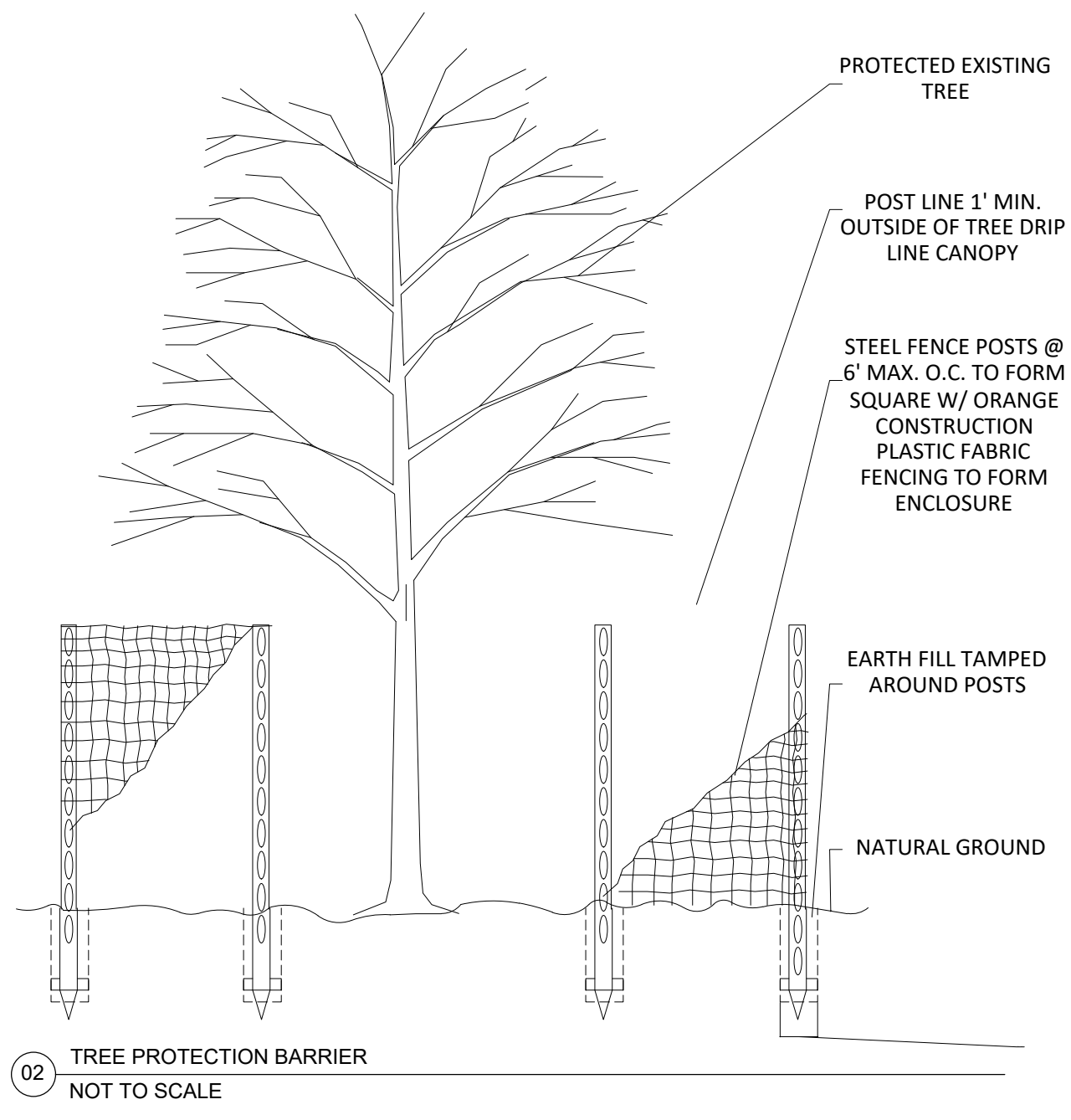
LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	AMERICAN CEDAR	4" CALIPER	65
CANOPY	AMERICAN CEDAR	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**RSG ENGINEERING**

13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-763-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
 at  
**1760 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS

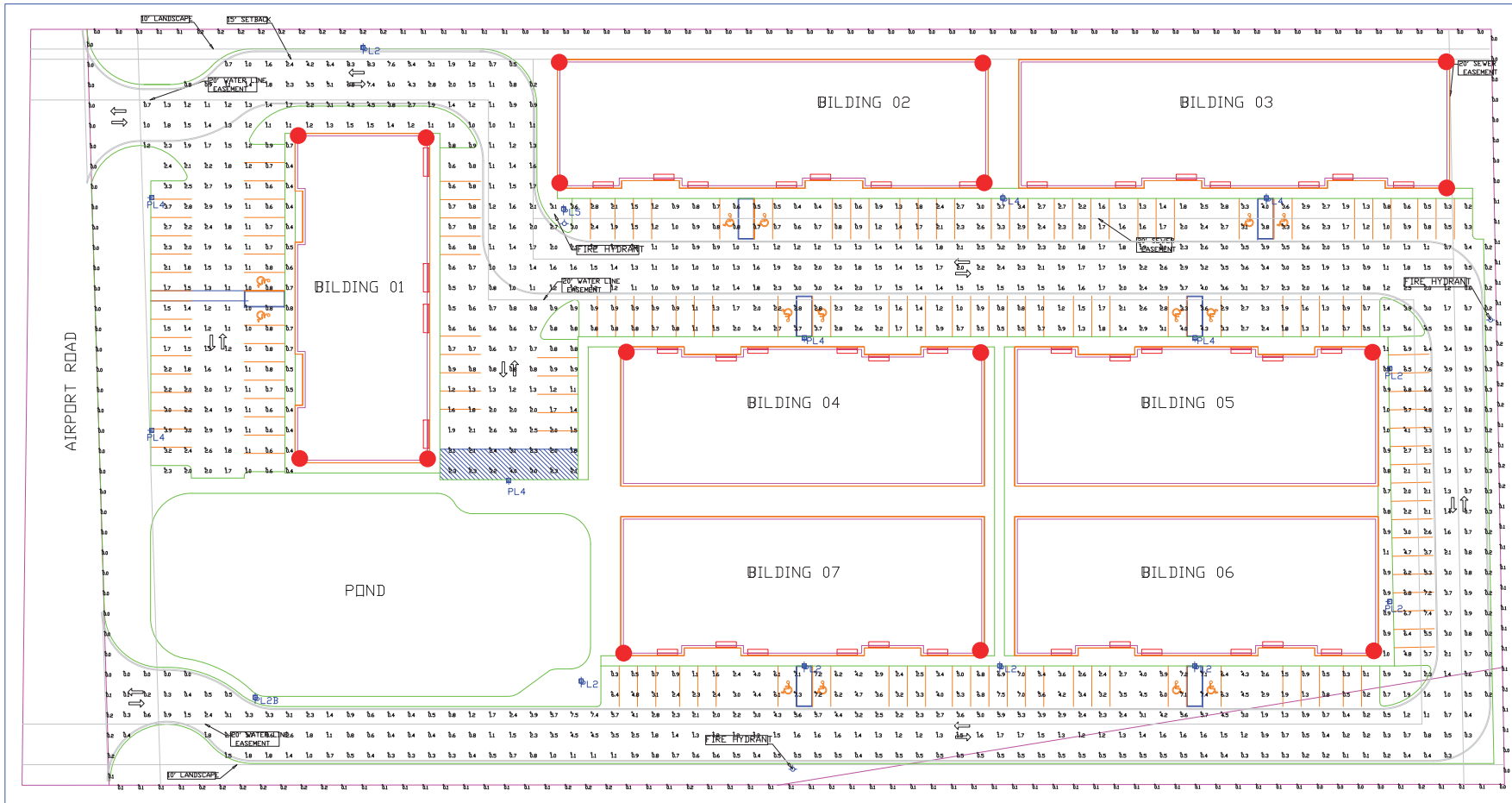

ISSUE DATE: 12/01/23

12/01/2023

LANDSCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3



Luminaire Schedule							
Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	7	Single	19594	151	0.950	Lumark PRV-PA2B-740-VLL-T2R-HSS-FINISH
□	PL2B	1	Single	7815	74	0.950	Lumark PRV-PA2B-740-VLL-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VLL-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VLL-T5W-FINISH

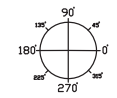
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.07	0.2	0.0	NA	NA
SITE Paved Parking - Ground	Illuminance	Fc	1.90	8.3	0.0	NA	NA

Luminaire Location Summary	
Label	Mounting Ht
PL2	22.5(30in Base Included)
PL2B	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc. / Keith Peterson / 08-08-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**DRAWINGS FOR REVIEW ONLY  
DO NOT USE AS CONSTRUCTION DOCUMENTS**



Peterson, Scharck, & Associates, Inc.  
 10835 Tanager Blvd.  
 Houston, TX 77041  
 applications@psalighting.com

XXXX  
XXXX

Rockwall  
 PlesSpace Center  
 Site Log

184/08-23

SR



Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

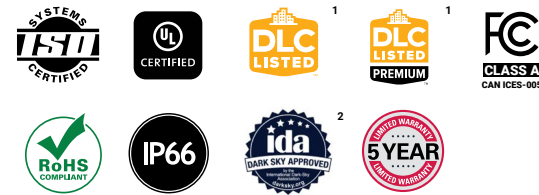
## Prevail Discrete LED

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

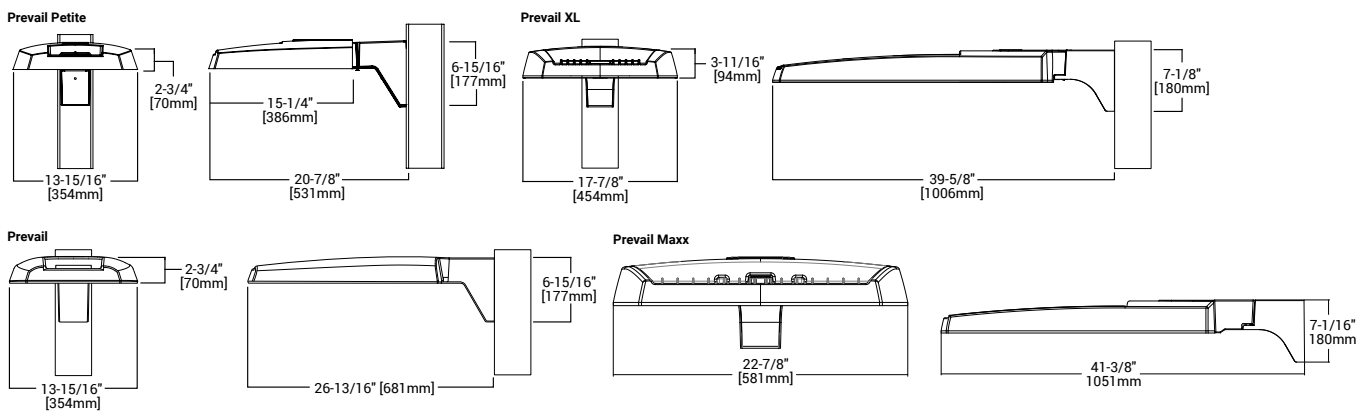
### Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

### Connected Systems

- WaveLinx

### Dimensional Details




NOTES:  
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish								
	Configuration	Drive Current <sup>4</sup>													
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant <sup>3</sup>	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740=70CRI, 4000K 730=70CRI, 3000K 750=70CRI, 5000K	U=Universal, 120-277V H=High Voltage, 347-480V 9=347V 8=480V <sup>5</sup> DV=DuraVolt, 277-480V <sup>5,6</sup>	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide	SA=QM Standard Versatile Arm MA=QM Mast Arm FMA=Fixed Mast Arm <sup>28</sup> WM=QM Wall Mount Arm ADJA-WM= Adjustable Arm - Wall Mount <sup>30</sup> ADJA=Adjustable Arm - Pole Mount <sup>30</sup> ADJS=Adjustable Arm - Slipfitter, 3" vertical tenon <sup>30</sup> SP2=Adjustable Arm - Slipfitter, 2 3/8" vertical tenon <sup>28, 30</sup>	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White								
PRV=Prevail BAA-PRV=Prevail BAA Buy American Act Compliant <sup>3</sup> TAA-PRV=Prevail TAA Trade Agreements Act Compliant <sup>3</sup>	PA1=1 Panel, 24 LED Rectangle PA2=2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal													
PRV-XL=PRV XL BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant <sup>3</sup>	PA3=3 Panels, 72 LED Rectangles PA4=4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal													
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Buy American Act Compliant <sup>3</sup> TAA-PRV-M=Prevail Maxx TAA Trade Agreements Act Compliant <sup>3</sup>	PA6= 6 Panels, 144 LED Rectangles	A=600mA Nominal B=800mA Nominal C=1000mA Nominal D=1200mA Nominal													
Options (Add as Suffix)				Accessories (Order Separately) <sup>20, 21</sup>											
<p>10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right CC=Coastal Construction Finish <sup>31</sup> HSS=House Side Shield (Factory Installed) <sup>7</sup> HA=50°C High Ambient Temperature <sup>8</sup> PR=NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>10</sup> PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>10</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height <sup>11, 12, 13, 22</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>11, 12, 13, 28, 29</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>11, 12, 13</sup> SPB1=Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height <sup>11, 14, 22</sup> SPB2=Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height <sup>11, 14, 28, 29</sup> SPB4=Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height <sup>11, 14, 29</sup> ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>11, 12</sup> ZD=DALI-enabled 4-PIN Twistlock Receptacle <sup>11, 12</sup></p>				<p>ZW-SWPD4XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height <sup>11, 12, 15, 16, 17, 22</sup> ZW-SWPD5XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height <sup>11, 12, 15, 16, 17, 28, 29</sup> ZD-SWPD4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 7' - 15' Mounting Height <sup>11, 12, 15, 16, 17, 22</sup> ZD-SWPD5XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 15' - 40' Mounting Height <sup>11, 12, 15, 16, 17, 28, 29</sup> (See Table Below)=LumenSafe Integrated Network Security Camera <sup>18, 19</sup></p>				<p>PRVSA-XX=Standard Arm Mounting Kit <sup>22</sup> PRVMA-XX=Mast Arm Mounting Kit <sup>22</sup> PRVWM-XX=Wall Mount Kit <sup>22</sup> PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>22</sup> PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit <sup>22</sup> PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit <sup>22</sup> PRVXLSA-XX=Standard Arm Mounting Kit <sup>29</sup> PRVXLSMA-XX=Mast Arm Mounting Kit <sup>29</sup> PRVXLWM-XX=Wall Mount Kit <sup>29</sup> PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>29</sup> PRV-XL-ADJA-WM-XX= Adjustable Arm - Wall Mount Kit <sup>29</sup> PRV-XL-ADJS-XX= Adjustable Arm - Slipfitter Kit <sup>29</sup> PRV-M-ADJA-XX=Adjustable Arm - Pole Mount Kit <sup>28</sup> PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit <sup>28</sup> PRV-M-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit <sup>28</sup> MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon</p>				<p>MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238=Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV=Full Drop Visor <sup>23</sup> PRVXL/DIS-FDV=Full Drop Visor <sup>18</sup> HSS-VP=House Side Shield Kit, Vertical Panel <sup>7, 24</sup> HSS-HP=House Side Shield Kit, Horizontal Panel <sup>7, 24</sup> VGS-ARCH= Panel Drop Shield, Short VGL-ARCH= Panel Drop Shield, Long OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>25</sup> WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) <sup>27</sup> SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height <sup>15, 16, 17, 22, 28</sup> SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height <sup>15, 16, 17, 26, 28, 29</sup></p>			
<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details.</li> <li>Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information.</li> <li>Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://www.designlights.org">DOMESTIC PREFERENCES</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.</li> <li>Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables.</li> <li>480V not to be used with ungrounded or impedance grounded systems.</li> <li>DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.signify.com/duravolt">www.signify.com/duravolt</a> for more information.</li> <li>House Side Shield not for use with 5WQ distribution.</li> <li>Not available with PA1D light engine in Petite housing (PRV-P).</li> <li>Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.</li> <li>If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.</li> <li>Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, SPB, ZD, or ZW).</li> <li>Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage.</li> <li>Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.</li> <li>Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.</li> <li>Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).</li> <li>In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.</li> <li>Replace XX with sensor color (WH, BZ or BK).</li> <li>Not available in PRV-XL configurations.</li> <li>Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information.</li> <li>Replace XX with paint color.</li> <li>For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.</li> <li>Not for use with PRV-XL or PRV-M configurations.</li> <li>Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P.</li> <li>Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details.</li> <li>This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.</li> <li>Requires 4-PIN twistlock receptacle option (ZD or ZW) option.</li> <li>Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V.</li> <li>Only available for PRV-M configurations.</li> <li>Only for use with PRV-XL.</li> <li>Fixed for PRV-M</li> </ol>															

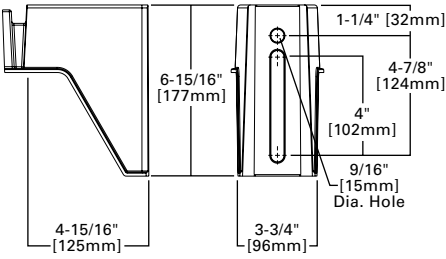
LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	H=Dome Camera, High Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

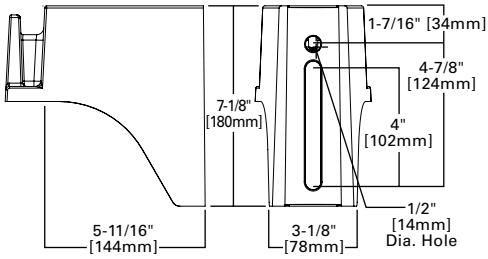


Mounting Details

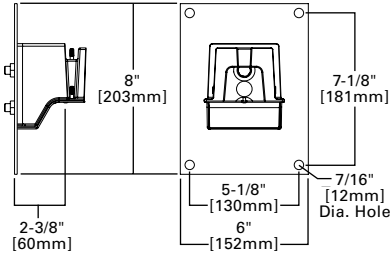
SA=QM Pole Mount Arm (PRV & PRV-P)



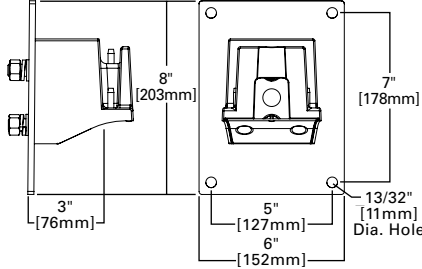
SA=QM Pole Mount Arm (PRV-XL)



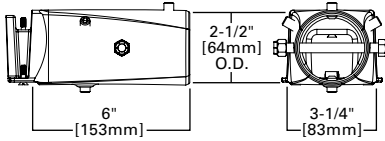
WM=QM Wall Mount Arm (PRV & PRV-P)



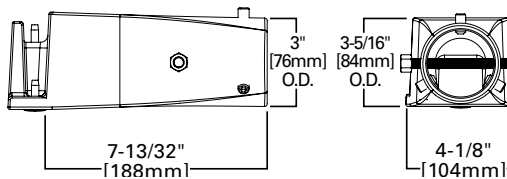
WM=QM Wall Mount Arm (PRV-XL)



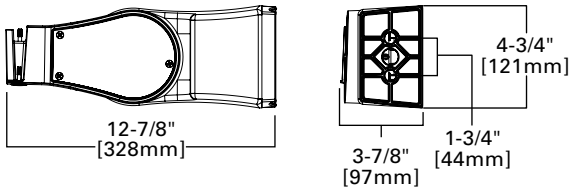
MA=QM Mast Arm (PRV & PRV-P)



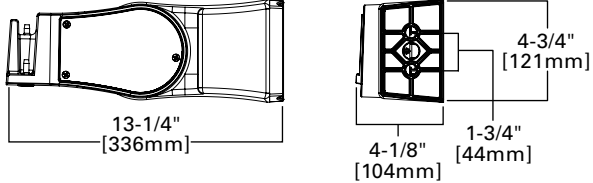
MA=QM Mast Arm (PRV-XL)



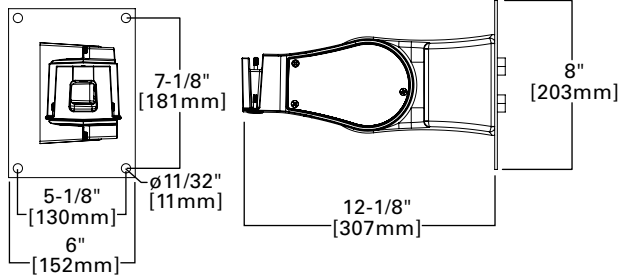
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



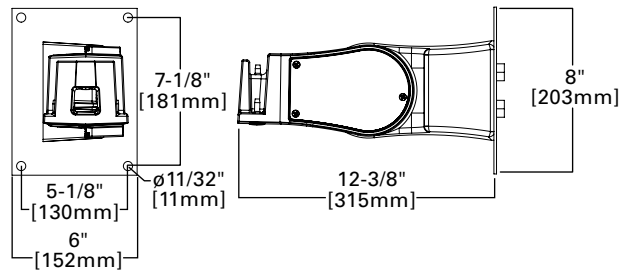
ADJA=Adjustable Arm Pole Mount (PRV-XL)



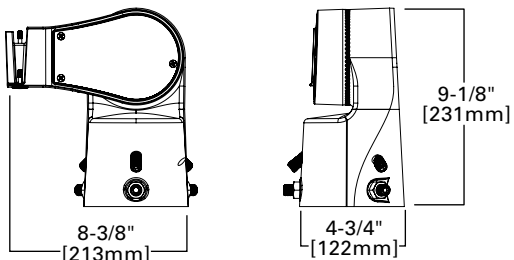
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



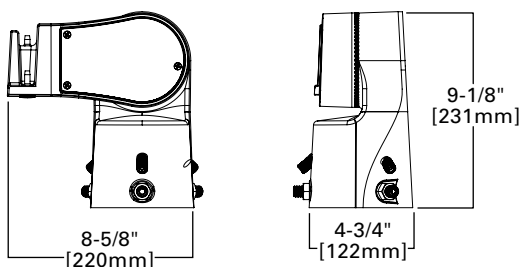
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

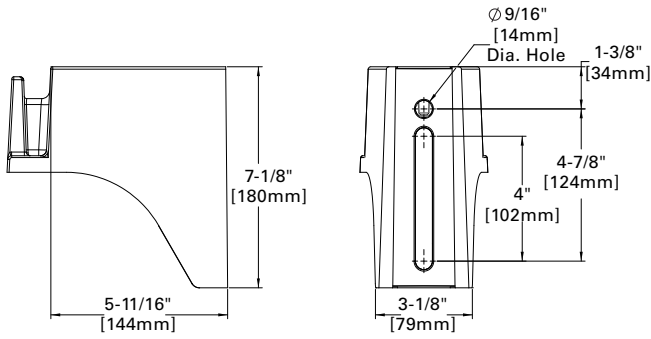


ADJS=Adjustable Slipfitter 3 (PRV-XL)

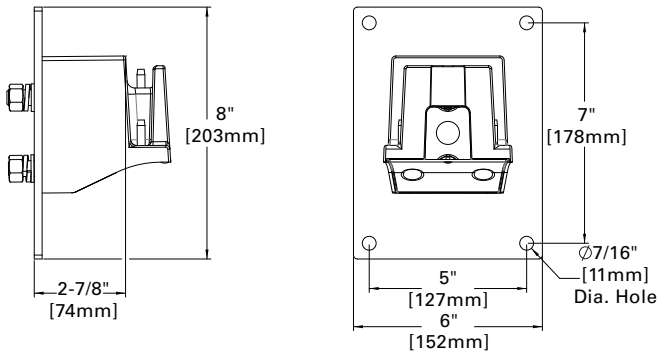


## Mounting Details

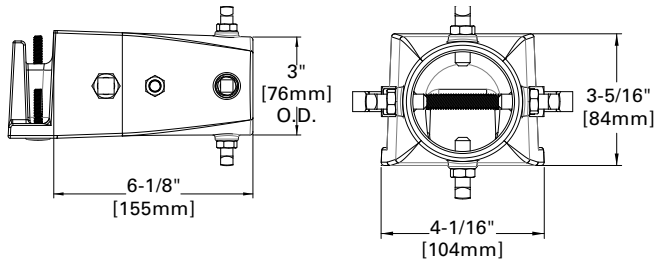
**SA=QM Pole Mount Arm (PRV-M)**



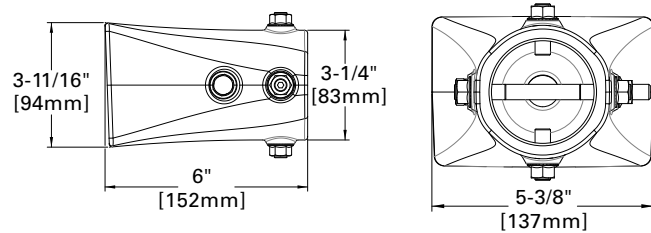
**WM=QM Wall Mount Arm (PRV-M)**



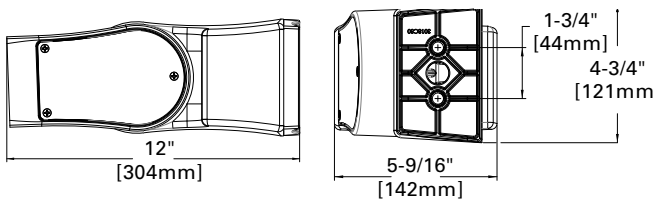
**MA=QM Mast Arm (PRV-M)**



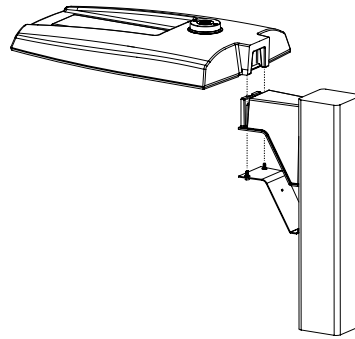
**FMA=Fixed Mast Arm (PRV-M)**



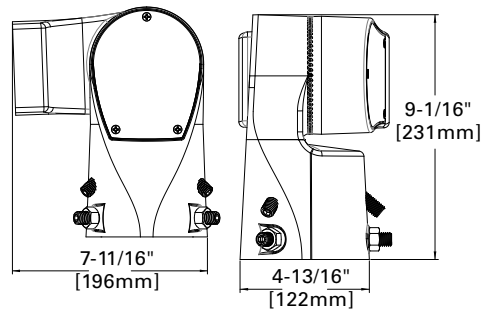
**DM=Direct Pole Mount Arm (PRV-M)**



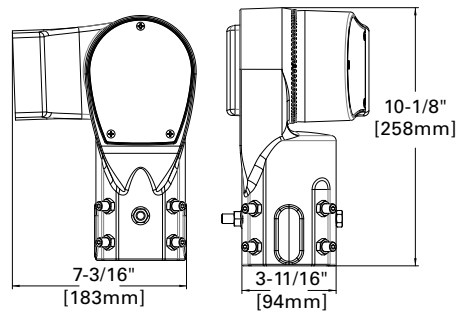
**Versatile Mount System**



**ADJS=Adjustable Slipfitter (PRV-M)**



**SP2=Adjustable Slipfitter 2-3/8" (PRV-M)**





## Mounting Details

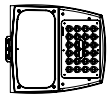
### Mounting Configurations and EPAs

**NOTE:** For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

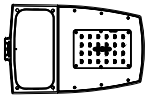
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

## Optical Configurations

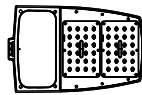
PRV-P-PA1X



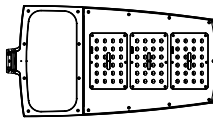
PRV-PA1X



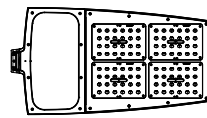
PRV-PA2X



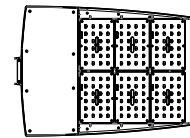
PRV-XL-PA3X



PRV-XL-PA4X

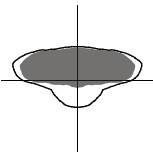


PRV-M-PA6X

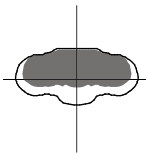


### Optical Distributions

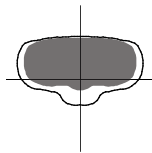
T2R  
(Type II Roadway)



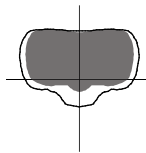
T2U  
(Type II Urban)



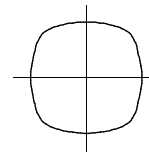
T3  
(Type III)



T4W  
(Type IV Wide)



5WQ  
(Type V Square Wide)



■ = Distribution with House Side Shield (HSS)  
□ = Optical Distribution

## Product Specifications

### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

### Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

### Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

### Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

### Warranty

- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

## Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
<b>Distribution</b>																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens <sup>1</sup>	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens <sup>1</sup>	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens <sup>1</sup>	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens <sup>1</sup>	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens <sup>1</sup>	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens <sup>1</sup>	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens <sup>1</sup>	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens <sup>1</sup>	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens <sup>1</sup>	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:  
1. For 3000K or HSS BUG Ratings, refer to published IES files



## Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

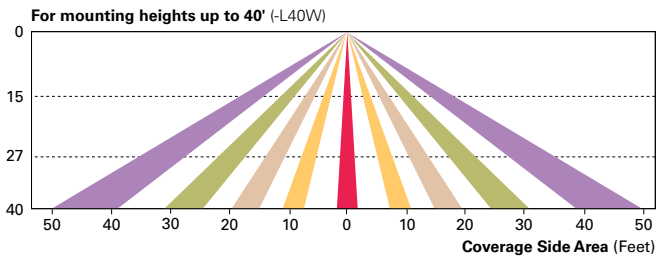
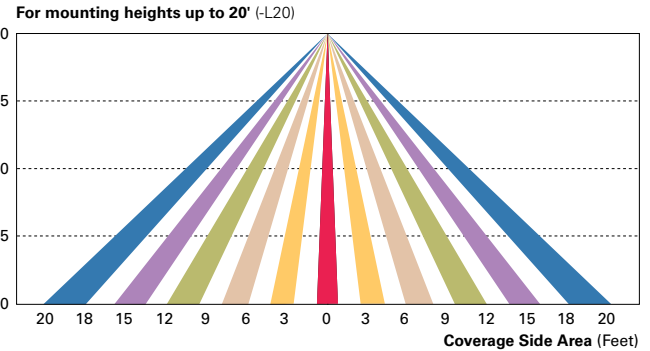
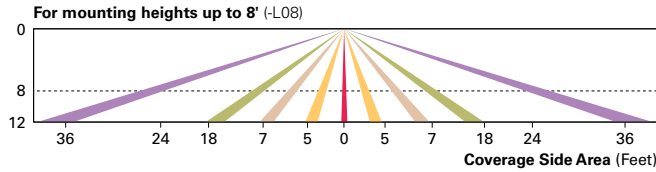
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

### Control Options

**0-10V** This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol** (PR and PR7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

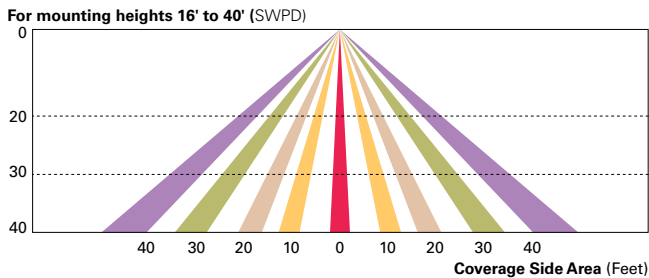
**Dimming Occupancy Sensor** (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



**WaveLinx Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinx Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

**WaveLinx Wireless Sensor (SWPD4 and SWPD5)** These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

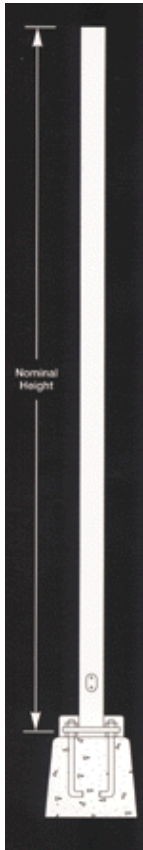


**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.





## SSP Square Non-Tapered Steel Poles



**SSP**

### Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"), 7 gauge (0.1793"), or 3 gauge (0.2391"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

### Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

### Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

### Handhole

An oval reinforced gasketed handhole, having a nominal 3" x 5" or 4" x 6-1/2" inside opening, located 1'-6" above base, is standard on all poles. Optional 5" x 8" and 4" x 10" handholes are available (see options). A grounding provision is located inside the handhole ring.

### Finishes

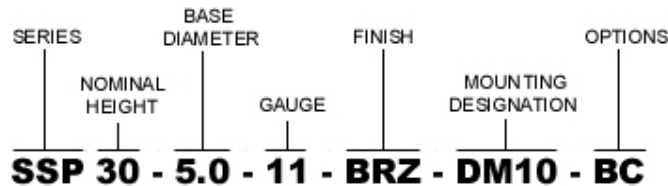
The [Standard Finish](#) is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. [Hot dip Galvanized](#) finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see [K-KLAD](#) and [K-KLAD Over Galvanizing](#).

## HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

### CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
SSP10-4.0-11	10	4.0 x 10.0	11	3 x 5	0.75 x 17 x 3	8	42.1	33.5	27.1	87
SSP10-4.0-7	10	4.0 x 10.0	7	3 x 5	0.75 x 30 x 3	8	55	44	35.5	130
SSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	58	44	34	151
SSP12-4.0-11	12	4.0 x 12.0	11	3 x 5	0.75 x 17 x 3	8	33.7	26.7	21.4	100
SSP12-4.0-7	12	4.0 x 12.0	7	3 x 5	0.75 x 30 x 3	8	47.5	37.3	29.8	150
SSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	49	38	29	168
SSP14-4.0-11	14	4.0 x 14.0	11	3 x 5	0.75 x 17 x 3	8	27.4	21.5	17.1	113
SSP14-4.0-7	14	4.0 x 14.0	7	3 x 5	0.75 x 30 x 3	8	40	31	24.5	170

SSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	40	30	23	184
SSP14-5.0-7	14	5.0 x 14.0	7	3 x 5	1.00 x 36 x 4	11	65	52	41.5	242
SSP15-4.0-11	15	4.0 x 15.0	11	3 x 5	0.75 x 17 x 3	8	20.7	16.1	12.6	119
SSP15-4.0-7	15	4.0 x 15.0	7	3 x 5	0.75 x 30 x 3	8	30.9	24.4	19.6	172
SSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	36	27.5	21	192
SSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	59	46.5	37	254
SSP16-4.0-11	16	4.0 x 16.0	11	3 x 5	0.75 x 17 x 3	8	18.7	14.4	11.2	125
SSP16-4.0-7	16	4.0 x 16.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	33.5	25	18	201
SSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	54	43	34	266
SSP18-4.0-11	18	4.0 x 18.0	11	3 x 5	0.75 x 17 x 3	8	15.2	11.5	8.7	138
SSP18-4.0-7	18	4.0 x 18.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	19.5	15	218
SSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	46	36	28	291
SSP20-4.0-11	20	4.0 x 20.0	11	3 x 5	0.75 x 17 x 3	8	12.3	9	6.5	151
SSP20-4.0-7	20	4.0 x 20.0	7	3 x 5	0.75 x 30 x 3	8	19.6	15	11.5	219
SSP20-5.0-11	20	5.0 x 20.0	11	3 x 5	1.00 x 36 x 4	11	22.2	16.8	12.6	235
SSP20-5.0-7	20	5.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11	35.4	27.5	21.5	313
SSP20-6.0-7	20	6.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11.5	56	42.5	33.5	368
SSP22-4.0-11	22	4.0 x 22.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP22-4.0-7	22	4.0 x 22.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP22-5.0-11	22	5.0 x 22.0	11	3 x 5	1.00 x 36 x 4	11	18.5	13.6	9.8	252
SSP22-5.0-7	22	5.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11	30.2	23.2	17.8	337
SSP22-6.0-7	22	6.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11.5	49	37.5	28	398
SSP24-4.0-7	24	4.0 x 24.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP24-5.0-11	24	5.0 x 24.0	11	3 x 5	1.00 x 36 x 4	11	15.2	10.8	7.4	268
SSP24-5.0-7	24	5.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11	25.8	19.4	14.6	361
SSP24-6.0-7	24	6.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11.5	42	31.5	23	428
SSP25-4.0-11	25	4.0 x 25.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP25-4.0-7	25	4.0 x 25.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP25-5.0-11	25	5.0 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.8	9.5	6.3	276
SSP25-5.0-7	25	5.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11	23.8	17.7	13.1	373
SSP25-6.0-7	25	6.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11.5	39	28.5	21	443
SSP26-4.0-7	26	4.0 x 26.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP26-5.0-11	26	5.0 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	8.3	5.2	284
SSP26-5.0-7	26	5.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11	21.9	16.1	11.8	384
SSP26-6.0-7	26	6.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11.5	35.5	25.5	18.5	457
SSP28-4.0-7	28	4.0 x 28.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP28-5.0-11	28	5.0 x 28.0	11	3 x 5	1.00 x 36 x 4	11	9.8	6.1	3.2	300
SSP28-5.0-7	28	5.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11	18.4	13.2	9.2	408
SSP28-6.0-7	28	6.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11.5	30	21.5	15	487
SSP30-4.0-7	30	4.0 x 30.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP30-5.0-11	30	5.0 x 30.0	11	3 x 5	1.00 x 36 x 4	11	6.5	3.5	1.2	315
SSP30-5.0-7	30	5.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11	13.4	9.1	5.9	432
SSP30-6.0-7	30	6.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11.5	27.5	19.9	14.1	512
SSP30-6.0-3	30	6.0 x 30.0	3	3 x 5	1.00 x 36 x 4	12	34.3	25.3	18.5	645
SSP35-5.0-7	35	5.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7.2	3.7	1	491
SSP35-6.0-7	35	6.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11.5	15	9.5	5.3	584
SSP35-6.0-3	35	6.0 x 35.0	3	3 x 5	1.00 x 36 x 4	12	19.7	13.2	8.2	739
SSP39-6.0-7	39	6.0 x 39.0	7	3 x 5	1.00 x 36 x 4	11.5	9.2	4.3	0.6	642
SSP39-6.0-3	39	6.0 x 39.0	3	3 x 5	1.00 x 36 x 4	12	13	7.4	3.1	814

**FINISHES****Standard**

**BRZ** Bronze  
**BLK** Black  
**GRY** Gray  
**GRN** Green  
**WHT** White  
**P** Primed  
**NA** Natural Aluminum

**Galvanized**

**G** Galvanized

**K-KLAD**

**K813** Bronze  
**K821** Black  
**K841** Gray  
**K891** Green  
**K881** White  
**K845** Natural Aluminum

**K-KLAD Over Galvanizing**

**KZ13** Bronze  
**KZ21** Black  
**KZ41** Gray  
**KZ91** Green  
**KZ81** White  
**KZ45** Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY



## MOUNTING DESIGNATIONS

### Tenon Mount

<b>2</b>	2 3/8" x 4" TENON
<b>3</b>	2 7/8" x 4" TENON
<b>3.5</b>	3 1/2" x 6" TENON
<b>4</b>	4" x 6" TENON

### Drill Mount

<b>DM10</b>	Drilled for 1 Luminaire
<b>DM2090</b>	Drilled for 2 Luminaires @ 90°
<b>DM2180</b>	Drilled for 2 Luminaires @ 180°
<b>DM3090</b>	Drilled for 3 Luminaires @ 90°
<b>DM4090</b>	Drilled for 4 Luminaires @ 90°

### Open Mount

<b>OT</b>	Open Top
<b>OTC</b>	Open Top includes Pole Cap

### Gain Mount

<b>1GSS4</b>	(1) CXA
<b>2GSS4</b>	(2) CXA's located on the Same Side
<b>3GSS4</b>	(3) CXA's located on the Same Side
<b>4GSS4</b>	(4) CXA's located on the Same Side
<b>2GBB4</b>	(2) CXA's located Back to Back
<b>4GBB4</b>	(4) CXA's located Back to Back
<b>1GSS9</b>	(1) CXASQ
<b>2GSS9</b>	(2) CXASQ's located on the Same Side
<b>3GSS9</b>	(3) CXASQ's located on the Same Side
<b>4GSS9</b>	(4) CXASQ's located on the Same Side
<b>2GBB9</b>	(2) CXASQ's located Back to Back
<b>4GBB9</b>	(4) CXASQ's located Back to Back

## OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

### Accessories

<b>BC</b>	Base Cover
<b>CPL</b>	Threaded Coupling*
<b>NPL</b>	Threaded Nipple*
<b>WPRP</b>	Festoon Opening**
<b>LAB</b>	Less Anchor Bolt

### Optional Handholes

<b>58HH</b>	5" x 8" Handhole*
<b>410HH</b>	4" x 10" Handhole*

### Extra Handholes

<b>XHH</b>	Extra Handhole*
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### Embedment Pole Options

<b>E</b>	Embedded Pole
<b>GS</b>	Ground Sleeve
<b>CTE</b>	Coal Tar Epoxy

### For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

### Additional Simplex

<b>1S</b>	1 @ 0° *
<b>2S</b>	2 @ 180° *
<b>3S</b>	3 @ 90° *
<b>4S</b>	4 @ 90° *

Greater embedment depths are available upon request.  
Embedment poles greater than 35' are not available.

\* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

\*\* Located 24" above baseplate and same side as handhole. (No electrical included)

### **PACKAGING**

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.





November 13, 2023

Mr. Ryan Miller  
City of Rockwall Director of Planning  
385 S. Goliad  
Rockwall, TX 75087

Re: SP2023-xxx Exceptions/ Variances Requested  
Flex Office/ Warehouse Development  
1760 Airport Road  
Rockwall, TX. 75087

Mr. Miller,

I am writing to formally request exceptions/variances to specific sections of the UDC (Unified Development Code) as detailed below:

1. Primary & Secondary Articulation Standards - UDC Subsection 04.01 C1 of Article 5.
2. 90% Primary/ 10% Secondary Material - UDC Subsection 05.01 A.1 (a) of Article 05.
3. Screening of Loading Docks (Bay Doors) - UDC Subsection 05.02 (A) of Article 08.

Our architectural design team has made following design changes to lessen the effects of above variances.

- **Primary and Secondary Articulation Standards Variance** – We have tried to meet the spirit of the code with respect to these articulation standards in order to achieve the same look the city is seeking. One, we have created a version of vertical articulation with a stair step pattern across the top parapets of the front and side façades which provides a visual line break. Two, we are providing covered awnings at each entry point.

835 Tillman Dr  
Allen, TX 75013  
Tel: (972) 674-8933  
[www.flexspacebusinessparks.co](http://www.flexspacebusinessparks.co)



- **90% Primary Materials & 10% Secondary Materials Variance** - We are requesting that the materials requirement not be applied to the hidden rear side elevations of interior buildings 2-7. Building 1 meets all material requirements standards i.e. 90% Primary Material, 10% Secondary Material, less than 50% Stucco, and minimum 20% natural stone. The front, left, and right elevations of Buildings 2-7 meet all material requirements standards.
- **Screening of Loading Docks (Bay Doors) Variance** – This variance pertains to required 3-tier screening of bay doors on buildings 6 & 7. Due to the FAA runway protection zone in the southwest corner of the property, we are unable to extend 3-tier screening along the western property line all the way to the southwest corner – we stopped at the boundary of FAA restriction zone. However, we upgraded the caliper size of canopy trees from 4” to 5”, and planted taller than normal shrubs in the FAA restricted zone.

We are providing 2 compensatory items for each requested variance for a total of eight (8) compensatory items for this development. They are detailed below:

- **(2 points)** - We are providing 2 canopy trees along the east property line behind buildings 2 & 3
- **(1 point)** - We are providing 3 tier screening along the west property line from Airport Road to the FAA line. We are continuing the screening along the west property line to provide additional screening of the loading dock area with taller shrubs in the FAA Zone
- **(1 point)** - We are providing to upgrade the canopy trees in the 3-tier screening along the west property line from 4” to 5” trees.
- **(2 points)** - We are providing two (2) decorative benches west of building 1 along the landscape detention pond.
- **(1 point)** - We are providing more landscaping than required
- **(1 point)** - We are providing a row of canopy trees 40’-0” on center along the Railroad south property line.





Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

A handwritten signature in black ink, appearing to read "Deepak Bhavi", is positioned below the word "Sincerely,".

**Deepak "Roy" Bhavi**

**Principal & Founder | FlexSpace Business Parks**

A decorative graphic element in the bottom left corner, consisting of a light beige trapezoidal shape on the left and a darker tan triangular shape on the right, both pointing towards the bottom right corner.

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